

**GENOA CHARTER TOWNSHIP
BOARD OF TRUSTEES
REGULAR MEETING
DECEMBER 5, 2011
6:30 p.m.**

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to approve minutes: November 21, 2011.
3. Request for approval of Michigan Township Associations Annual Conference budget as submitted by the Township Supervisor.
4. Request for approval to add line six to the bill payment policy as follows: Two representatives of the administrative committee may approve payment of any bill provided that the previously approved budget allows for remittance.
5. Consider reappointment of the Board of Review for 2012 as presented by Township Supervisor.
6. Request for approval of the following appointments that will expire on 11-20-2012: Jean Ledford to SELCRA, Jean Ledford and Paulette Skolarus to SEMCOG, Gary McCririe and Robin Hunt to Genoa/Oceola Sewer and Water Authority, Todd Smith and Gary McCririe (alternate) to Howell Area Parks and Recreation, Robin Hunt and Gary McCririe to MHOG, Paulette Skolarus to Greenways, Michael Archinal to FOIA Coordinator, Gary McCririe and Jim Mortensen to Brighton Fire Authority, Kelly VanMarter and Paul Edwards (alternate) to Huron River-Watershed Council, Steve Wildman and Jean Ledford to Election Commission, and John Kirsh, Jean Ledford, Todd Smith, James Mortensen, Steve Wildman to Brownfield Development, Dean Tengel, Diana Lowe, Jim Mortensen to Planning Commission, Chris Grajek and Steve Wildman to Zoning Board of Appeals, as presented by the Township Supervisor.

Approval of Regular Agenda:

7. Request for approval to terminate the Special Land Use and Site Plan approval for Industrial Resin Recycling, Inc, 1480 Grand Oaks Drive, Howell.
8. Request for approval of PUD amendment, impact assessment and site plan for a proposed 3,954 sq.ft. restaurant with a drive-thru located on Grand River Avenue west of Latson Road, Howell, MI Sec. 5, petitioned by Metro Design and Build Inc.

Correspondence:

Member Discussion:

Adjournment:

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE : December 5, 2011

TOWNSHIP GENERAL EXPENSES: Thru December 5, 2011	\$95,677.27
November 25, 2011 Bi-Weekly Payroll	\$65,280.56
December 1, 2011 Longevity Payroll	\$10,681.94
December 1, 2011 Monthly Payroll	\$12,233.73
OPERATING EXPENSES: Thru December 5, 2011	\$22,651.28
TOTAL:	<u>\$206,524.78</u>

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
28023	StateMI	State Of Michigan	11/21/2011	375.00
28024	Administ	Total Administrative Services	11/23/2011	869.19
28025	Equitabl	Equivest Unit Annuity Lock Box	11/23/2011	905.00
28026	MISDU	Michigan State Disbursement Un	11/23/2011	207.13
28027	ACCIDENT	Accident Fund Company	11/22/2011	3,579.16
28028	AMER IMA	Applied Imaging	11/22/2011	101.55
28029	ARCHINAL	Michael Archinal	11/22/2011	500.00
28030	boss	Boss Engineering	11/22/2011	3,791.25
28031	BullsEye	BullsEye Telecom	11/22/2011	194.74
28032	DTE EN	DTE Energy	11/22/2011	206.47
28033	EHIM	EHIM, INC	11/22/2011	5,858.70
28034	GENOA TW	Genoa Township	11/22/2011	503.04
28035	Lincoln	Lincoln National Life Ins Co.	11/22/2011	2,289.48
28036	Liv Cty	Livingston Cty Treasurers Assn	11/22/2011	44.00
28037	MASTER M	Master Media Supply	11/22/2011	269.23
28038	Sitnar	Susan Sitnar	11/22/2011	69.76
28039	TASC	Total Administrative Services	11/22/2011	1,656.20
28042	MHOG SWA	Marion Howell Ocoola Genoa Swa	11/22/2011	43,249.44
28045	G/O SWAT	Go Swath	11/22/2011	25.00
28046	BullsEye	BullsEye Telecom	11/23/2011	1,258.56
28047	BUS IMAG	Business Imaging Group	11/23/2011	1,020.09
28048	CARDM	Chase Card Services	11/23/2011	120.39
28049	Clearwat	Clearwater Systems	11/23/2011	56.00
28050	COMCAST	COMCAST	11/23/2011	94.03
28051	Equitabl	Equivest Unit Annuity Lock Box	11/23/2011	905.00
28052	ETNA SUP	Etna Supply Company	11/23/2011	2,700.00
28053	LCAA	LCAA	11/23/2011	75.00
28054	LINDBERG	Phil Lindberg	11/23/2011	160.00
28055	Mannik	The Mannik & Smith Group, Inc.	11/23/2011	390.00
28056	MISTATE	Michigan State University	11/23/2011	90.00
28057	Tetra Te	Tetra Tech Inc	11/23/2011	1,265.00
28058	VERIZONW	Verizon Wireless	11/23/2011	544.48
28059	WALMART	Walmart Community	11/23/2011	41.28
28060	BLUE CRO	Blue Cross & Blue Shield Of Mi	11/28/2011	22,263.10
Report Total:				95,677.27

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: diane

Printed: 11/18/2011 - 12:28

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
28024	Administ	Total Administrative Services	11/23/2011		869.19
			Check 28024 Total:		869.19
10185	AETNA LI	Aetna Life Insurance & Annuity	11/23/2011		25.00
			Check 10185 Total:		25.00
10186	EFT-FED	EFT- Federal Payroll Tax	11/23/2011		6,798.37 2,590.94 3,824.71 894.53 894.53
			Check 10186 Total:		15,003.08
10187	EFT-PENS	EFT- Payroll Pens Ln Pyts	11/23/2011		574.80
			Check 10187 Total:		574.80
28025	Equitabl	Equivest Unit Annuity Lock Box	11/23/2011		905.00
			Check 28025 Total:		905.00
10188	FIRST NA	First National Bank	11/23/2011		300.00 2,875.00 44,521.36

Check 10188 Total:

47,696.36

28026

MISDU

Michigan State Disbursement Un 11/23/2011

FIPS 2616300

207.13

Check 28026 Total:

207.13

Report Total:

65,280.56

First National
Direct Deposit
NOVEMBER 23, 2011
Bi-Weekly Payroll

<u>Employee Name</u>	<u>Debit Amount</u>	<u>Credit Amount</u>
Genoa Township	\$47,696.36	
Aaron Korpela		\$1,005.97
Adam Van Tassell		\$1,175.85
Alex Chimpouras		\$1,910.01
Amy Ruthig		\$1,062.85
Angela Williams		\$800.91
Caitlin Nims		\$931.59
Carol Hanus		\$1,224.57
Craig Bunkoske		\$1,520.88
Daniel Schlack		\$1,219.29
Dave Estrada		\$1,174.57
David Miller		\$1,903.07
Deborah Rojewski		\$2,394.05
Dennis Smith		\$316.56
Diane Zerby		\$648.13
Duane Chatterson		\$1,429.25
Eric Hartman		\$0.00
Greg Tatara		\$2,480.20
James Aulette		\$1,291.21
Jeffrey Meyers		\$1,204.01
Jenifer Kern		\$603.40
Joe Szabelski		\$1,046.87
Judith Smith		\$1,194.14
Karen J. Saari		\$974.00
Kelly VanMarter		\$2,108.46
Kimberly MacLeod		\$1,046.80
Kyle Mitchell		\$866.16
Laura Mrocicka		\$1,677.85
Luke Brown		\$0.00
Martin Reich		\$1,621.92
Matthew Hunt		\$0.00
Michael Archinal		\$2,868.58
Michael Maahs		\$142.68
Renee Gray		\$1,049.27
Richard Bigham		\$1,721.59
Robin Hunt		\$1,364.41
Scott Lowe		\$1,241.13
Steven Anderson		\$1,697.08
Susan Sitner		\$596.84
Tammy Lindberg		\$980.38
Tesha Humphriss		\$1,201.83
Total Deposit		<u><u>\$47,696.36</u></u>

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: diane

Printed: 11/10/2011 - 15:25

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
10184	EFT-FED	EFT- Federal Payroll Tax	12/01/2011		548.52
					424.85
					627.15
					146.68
					146.68

Check 10184 Total: 1,893.88

Report Total: 1,893.88

13 checks +
longevity
pay

878806
10681.94

<u>Check No</u>	<u>Check Date</u>	<u>Employee Information</u>		<u>Amount</u>
11963	12/01/2011	Archinal	Michael Archinal	462.38
11964	12/01/2011	GrayR	Renee Gray	743.27
11965	12/01/2011	HanusCarol	Carol Hanus	1,288.23
11966	12/01/2011	HuntR	Robin Hunt	728.46
11967	12/01/2011	Lindberg	Tammy Lindberg	471.75
11968	12/01/2011	McCrie	Gary McCrie	417.50
11969	12/01/2011	Rojewski	Debra Rojewski	828.27
11970	12/01/2011	Ruthig	Amy Ruthig	707.62
11971	12/01/2011	SaariKaren	Karen Saari	428.50
11972	12/01/2011	SkolarusP	Paulette Skolarus	825.08
11973	12/01/2011	SmithJudith	Judith Smith	943.50
11974	12/01/2011	Van Tassel	Adam Van Tassel	471.75
11975	12/01/2011	VanMarter	Kelly VanMarter	471.75
Total Number of Employees: 13		Total for Payroll Check Run:		8,788.06

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: diane

Printed: 11/22/2011 - 10:24

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
10191	EFT-FED	EFT- Federal Payroll Tax	12/01/2011		1,808.89
					503.51
					743.30
					173.83
					173.83
					<hr/>
				Check 10191 Total:	3,403.36
					<hr/> <hr/>
10192	EFT-PENS	EFT- Payroll Pens Ln Pyts	12/01/2011		212.66
					<hr/>
				Check 10192 Total:	212.66
					<hr/> <hr/>
10193	FIRST NA	First National Bank	12/01/2011		8,567.71
					50.00
					<hr/>
				Check 10193 Total:	8,617.71
					<hr/> <hr/>
				Report Total:	12,233.73
					<hr/> <hr/>

**First National
Direct Deposit
DECEMBER 1, 2011
Monthly Payroll**

<u>Employee Name</u>	<u>Debit Amount</u>	<u>Credit Amount</u>
Genoa Township	\$8,617.71	
Adam Van Tassel		\$547.06
Gary McCririe		\$2,285.26
H.J. Mortensen		\$935.65
Jean Ledford		\$482.38
Paulette Skolarus		\$3,362.49
Steve Wildman		\$330.49
Todd Smith		\$674.38
Total Deposit		<u><u>\$8,617.71</u></u>

4:55 PM

#592 OAK POINTE WATER/SEWER FUND

Payment of Bills

November 15 - 24, 2011

Type	Date	Num	Name	Memo	Amount
Check	11/23/2011	2225	ALEXANDER CHEMICAL CORPORATION	Inv 0463238-IN	-5,774.47
Check	11/23/2011	2226	AT & T	Acct 053 465 0885 001	-8.78
Check	11/23/2011	2227	AT&T	Acct 810-227-4883 026 3	-88.84
Check	11/23/2011	2228	Bullseye Telecom	Inv # 13106435 dated 11/9/2011	-502.93
Check	11/23/2011	2229	BRIGHTON ANALYTICAL	Inv #'s 1111-74934 & 1111-74919	-134.00
Check	11/23/2011	2230	HACH Company	Inv 7495559	-725.65
Check	11/23/2011	2231	Hamlett Environmental Technologies	Inv dated 11/14/2011	-8,474.22
Check	11/23/2011	2232	HOWELLTRUE VALUE HARDWARE	Inv #'s 054813 & 054913	-54.96
Check	11/23/2011	2233	PVS Nolwood Chemicals, Inc	Invoices - November 2011 and Credit memos	-317.00
Check	11/23/2011	2234	STANDARD ELECTRIC	Invoice #1720355-00	-46.86
Total					-16,127.71

4:37 PM

#593 LAKE EDGEWOOD W/S FUND

Payment of Bills

November 15 - 24, 2011

Type	Date	Num	Name	Memo	Amount
Check	11/23/2011	2051	Brighton Analytical L.L.C.	Inv 1111-74957	-67.00
Check	11/23/2011	2052	CITY ELECTRIC SUPPLY	Inv BRI/028673	-26.80
Check	11/23/2011	2053	AT&T	Acct 053465-1001 001	-36.01
Check	11/23/2011	2054	BullsEye Telecom	Inv # 13083018	-303.85
Check	11/23/2011	2055	PVS NOLWOOD CHEMICALS, INC	Inv 352415 & Credit 100616	-947.00
Check	11/23/2011	2056	Wolverine Power Systems	Numerous invoices Nov 2011	-1,530.00
Total					-2,910.66

4:39 PM

#595 PINE CREEK W/S FUND

Payment of Bills

November 15 - 24, 2011

<u>Type</u>	<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Amount</u>
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no checks issued

4:42 PM

#504 DPW RESERVE FUND

Payment of Bills

November 15 - 24, 2011

<u>Type</u>	<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Amount</u>
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no checks issued

4:48 PM

11/23/11

#503 DPW UTILITY FUND

Payment of Bills

November 15 - 24, 2011

<u>Type</u>	<u>Date</u>	<u>Num</u>	<u>Name</u>	<u>Memo</u>	<u>Amount</u>
Check	11/15/2011	1907	U.S. POSTMASTER	Oak Pointe Billing Aug-Oct 2011	-286.26
Check	11/23/2011	1908	Auto Zone	Numerous invoices Sept - Nov 2011	-70.60
Check	11/23/2011	1909	Broner	Inv #'s 110826, 110385, 110387	-1,638.94
Check	11/23/2011	1910	Clearwater Systems	Inv 713430	-21.00
Check	11/23/2011	1911	FASTENAL COMPANY	Inv MIBRG63202	-259.99
Check	11/23/2011	1912	BUSINESS IMAGING GROUP	Inv 217823	-58.63
Check	11/23/2011	1913	Federal Express	Shipping charges November 2011	-138.71
Check	11/23/2011	1914	TESHA HUMPHRISS	Monthly car allowance December 2011	-200.00
Check	11/23/2011	1915	Occupational Health Centers	Inv 707994178	-103.00
Check	11/23/2011	1916	Staples Credit Plan	Statement dated 11/04/2011	-289.64
Check	11/23/2011	1917	Tractor Supply Co.	Statement dated 10/30/2011	-99.99
Check	11/23/2011	1918	USABlueBook	Inv 534119	-197.66
Check	11/23/2011	1919	Verizon Wireless	Inv 2657175815	-248.49
Total					-3,612.91

GENOA CHARTER TOWNSHIP
Board of Trustees
Regular Meeting
November 21, 2011

MINUTES

Supervisor McCririe called the regular meeting of the Genoa Charter Township Board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following persons were present constituting a quorum for the transaction of business: Gary McCririe, Paulette Skolarus, Robin Hunt, Steve Wildman, Jim Mortensen, Todd Smith and Jean Ledford. Also present were Township Manager Michael Archinal and approximately twenty-five persons in the audience.

A Call to the Public was made with the following response: Nearly all of the audience members addressed the board concerning the township's decision to go forward with a building department.

Boyd Buchanen of the Livingston County Home Builders wanted the Board to be aware that revenues from building permit fees could not be used for other purposes.

Steve Crane noted that Green Oak Township is the only other jurisdiction in the county with a building department. He stated that a recent permit took 32 days to get approved and that the fees are 40% higher and that Livingston County offers an economy of scale because it covers a larger area.

Ron Jones stated that the county is doing a great job and he does not understand why Genoa would want to start its own department when the Governor is asking for consolidation of local government services. No formal complaints have been lodged with the County or the State. Without written complaints there is no reason to go forward.

Diana Rencsak asked what would happen if the Township decided at some future point to get out of the building department business.

Jim Esper stated that the Township's continued pursuit of a building department is a waste of taxpayer dollars.

Steve Moore stated that this is a waste of taxpayer money and something the Township does not need.

Bill Hamway expressed support for the County Building Department and does not support a change.

Linda Rowell asked that the Board members individually express their reasons for supporting the creation of a building department. She stated that the township's pursuit of a department does not make sense and is not something our residents want.

Jim Rowell stated that he does not understand the motivation for a separate building department. The County runs a very efficient department. Genoa would not be able to match these efficiencies. Township fees will be higher than at the County. No formal complaints have been registered with the County and the only motivation upon which he can speculate is the Supervisors's involvement in real estate.

Jeff Dhaenens spoke in favor of the Township's efforts. He had a recent very poor experience as a homeowner pulling a permit.

An audience member requested that the Board pass a resolution stating that the Township's fees will never be more than the County's.

An audience member asked that the agenda item be tabled.

McCrie – Today we are merely seeking a modification to the proposed building fee schedule. The decision to make application to the State was made several months ago. Our goal is to provide the best possible service to our residents. "Turnaround time on permits" is a high priority. It is a question of convenience for township residents.

Skolarus – On Sept. 6, 2011 the board approved the January application to the State. That motion carried with five members in favor and two opposed.

Approval of Consent Agenda:

Move by Ledford, supported by Mortensen, to approve all items under the consent agenda with the addition of two checks related to the right-of-way acquisition for First Row and Hampton Ridge at a cost of less than \$24,000.00. The motion carried unanimously.

1. Payment of Bills.

2. Request to approve minutes: November 7, 2011.

3. Request for approval of modifications to the proposed building fee schedule as presented.

Approval of Regular Agenda:

Moved by Skolarus, supported by Ledford, to approve for action all items listed under the regular agenda. The motion carried unanimously.

4. Consider funding request for SPARK for economic development services.

Moved by Skolarus, supported by Ledford, to agree, in concept, to a three year commitment to SPARK in an annual amount not to exceed \$20,000.00. Further, that this service is subject to submission of an acceptable budget related to salaries and all other expenses to be reviewed by the Administrative Committee and then referred back to the Genoa Township Board for final approval and acceptance. Specific benchmarks will be discussed and established related to this agreement.

5. Receive report from the Township Manager regarding recycling and yard waste collection.

Archinal provided the board with a recycling and yard waste update. To date Duncan Disposal has diverted over 440 tons of material from landfills. No formal action was taken by the board,

The regular meeting of the Genoa Charter Township Board was adjourned at 7:50 p.m.

Paulette A. Skolarus
Genoa Township Clerk

MTA 2012 Budget

Following is a proposal for consideration of expenses relating to the January 2012 MTA Conference:

Name: _____

1.Conference Fees	\$250	_____
2.Room Charges	\$119-137 per night plus tax	_____
3.Mileage	\$58.74 (.555 per mile for 105.84 mile)	_____
4.Parking	\$15 per day	_____
5.Food	\$50 per day	_____
6.Per Diem	\$160-\$180 per diem* (as applicable)	_____

*Per diems are only payable for days at which you attend classes.

Amy, for the December agenda under conset. Polly

3. Request for approval to add line six to the bill payment policy as follows:

Two representatives of the administrative committee may approve payment of any bill provided that the previously approved budget allows for remittance.

Genoa Charter Township

Bill Payment Policy

The payment of the following bills/invoices prior to board approval is authorized;

1. Utilities such as electric, gas, sewer and similar where payment prior to the approval of the board avoids a late payment or penalty.
2. Postage not to exceed \$2,000.00
3. Normal and customary payroll and per diems for employees, elected and appointed officials.
4. Payroll taxes.
5. Insurance premiums.


The township board will see, and approve, these and all other bills at the next meeting of the board.

BOARD OF REVIEW (2-year term)

Robert Lupi	12/31/12
Ron Matkin	12/31/12
John Kirsch	12/31/12
Carol Tengel	12/31/12
Barbara Figurski	12/31/12
Patricia Petrat	12/31/12

MEMORANDUM

TO: Township Board

FROM: Michael Archinal 

DATE: 12/2/11

RE: Industrial Resin Recycling

Please find attached information related to the revocation of a special use permit for the above referenced business located at 1480 Grand Oaks Drive. This property has been in violation of Township Ordinance for many years. Repeated attempts to work with the property owners have been a wasted effort. The conditions placed on the Special Use Permit granted by the Board on 10/4/10 have not been met. The haphazard outdoor storage of combustible materials presents an unsafe condition.

The attached information includes reports from the Planning Director and Building Official. They and a representative from the Brighton Area Fire Department will be in attendance at your 12/5/11 meeting to present their findings and answer any questions you may have. Please consider the following action:

Moved by _____, supported by _____, to revoke the Special Use Permit and compel compliance with Township Ordinance utilizing all remedies under law as appropriate.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

November 18, 2011

DC Real Properties, L.L.C.
1480 Grand Oaks Drive
Howell, MI 48843

Re: Termination of Site Plan/Special Land Use Approval

To Whom It May Concern:

You are presently in violation of the Special Land Use and Site Plan approval that was granted by the Township Board on October 4, 2010.

Specifically, (a) impervious surface has not been reduced, (b) the area occupied by outside storage has increased, (c) the storage racks have increased in both quantity and height, (c) the Township did not receive a request to renew the special use by November 1, 2011, (d) the landscaping was not completed by June 1, 2011, and (e) the requirements of the Brighton Area Fire Department have not been met.

Article 19, Section 19.02.04 (k) provides in pertinent part "non-compliance with the requirements and conditions approved for the Special Land Use shall constitute grounds for the Township Board to terminate said approval following a public hearing...".

Accordingly, the Genoa Township Board will hold a public hearing on Monday, December 5, 2011 at 6:30 p.m. to consider termination of approval. Your attendance at this meeting is strongly encouraged.

If you have any questions in this regard please do not hesitate to communicate with me.

Sincerely,

Kelly VanMarter
Planning Director

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Steven Wildman

Date: November 15, 2011

Inspector: Dennis S. Smith, Building Official

Subject: Inspection Performed/Results

For The Property Located At: 1480 Grand Oaks, Brighton, MI 48116
Tax Parcel #11-08-100-010

Upon inspection by the Genoa Charter Township Building Official, the following violation(s) were observed at the property located at: 1480 Grand Oaks.

Based on the minutes of both the Planning Commission and the Township Board, the following items are noted:

1. The long run objective for this special use permit will be to remove impervious surface back to the prior level before occupancy by Resin Recycling in order to improve drain water management. - DOES NOT APPEAR TO BE COMPLIANT.
2. The long run objective will be to reduce the racks from a 12' to 8' height within a two year period and they will be completely behind the building. – DOES NOT APPEAR TO BE COMPLIANT. IN FACT IN SOME CASE STORAGE HEIGHTS APPEAR TO EXCEED 20 FEET.
3. The special use permit will be granted for a 12 month period, expiring November 1, 2011, at which time the applicant will submit a letter to the Township outlining the reduction status of outside storage on the site. – OUTSIDE STORAGE DOES NOT APPEAR TO BE REDUCED.
4. Renewal of the outside storage special use can be made effective November 1, 2011 with a full waiver of the application fees. – NO COMMENT
5. The materials stored on the site in outside storage will continue to be non-toxic. ON-SITE INVESTIGATION NOT COMPLETE, SO VERIFICATION CANNOT BE DETERMINED.
6. In the short run, a water truck rather than irrigation, will be satisfactory for planting irrigation. – NO COMMENT
7. This recommendation is subject to the Township Board's approval of the environmental impact assessment and site plan. SITE PLAN DOES NOT APPEAR COMPLIANT.

The following violations of the International Property Maintenance Code were also observed:

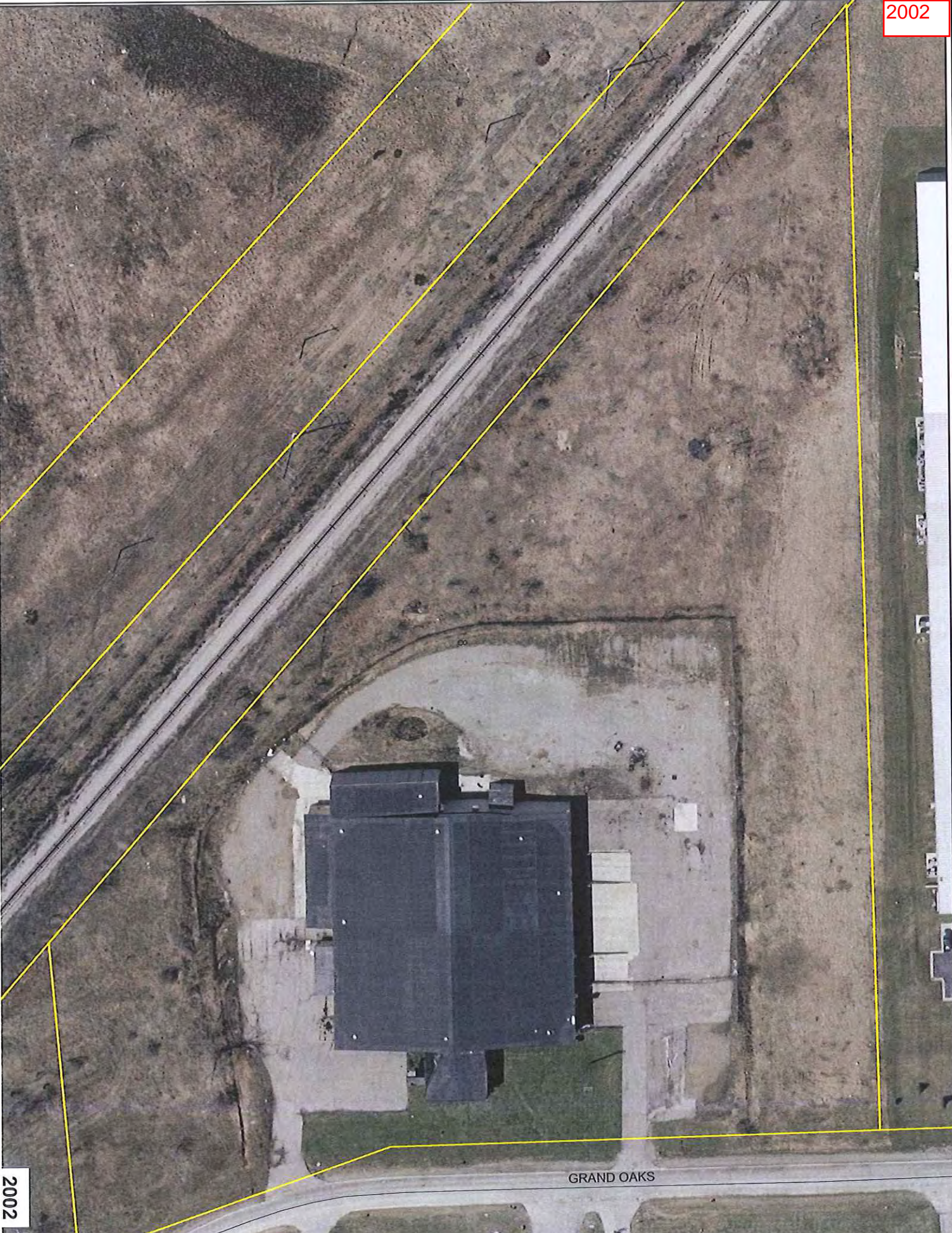
1. All exterior property shall be maintained in a clean safe and sanitary condition. Combustible junk and debris were observed throughout the property. The junk and debris consists of highly combustible materials and are considered an immediate danger. – Sec. 302.1
2. All exterior property and premises shall be free from any accumulation of rubbish or garbage. Cardboard and other combustible materials were observed though-out the site with no clear control of the refuse. – Sec. 307.1

3. The exterior of the property is subject to the International Fire Prevention Code, as adopted by reference, by the Brighton Area Fire Authority. As noted in their comments letter dated August 18, 2010, regarding the site plan, I observed the following:
 - a. The fire lane does not remain unobstructed as required.
 - b. It does not appear the 55 foot turning radius for the fire trucks is being provided
 - c. The storage of materials does exceed 12 feet.
4. Additional comments made in a Notice of Violation Report, by Fire inspector Lauren Brookins include:
 - a. Failure to provide adequate address numbering
 - b. Failure to provide required fire alarm protection equipment
 - c. Failure to provide required portable fire extinguishers
 - d. Failure to provide required fire department access roads
 - e. Failure to provide required exists, exit access and emergency lighting of the means of egress.

Photographs were taken on my site visit and I have included photographs taken by Fire Inspector Brookins.

This building does not appear to comply with the requirements of the Special Land Use permit issued to the site. Also, several building code and fire code violations should be addressed as outlined in Section 106 of the International Property Maintenance Code and Section 109 of The International Fire Code.

2002



2002

GRAND OAKS

2005



2005

GRAND OAKS

2006



Google earth



8/20/2006

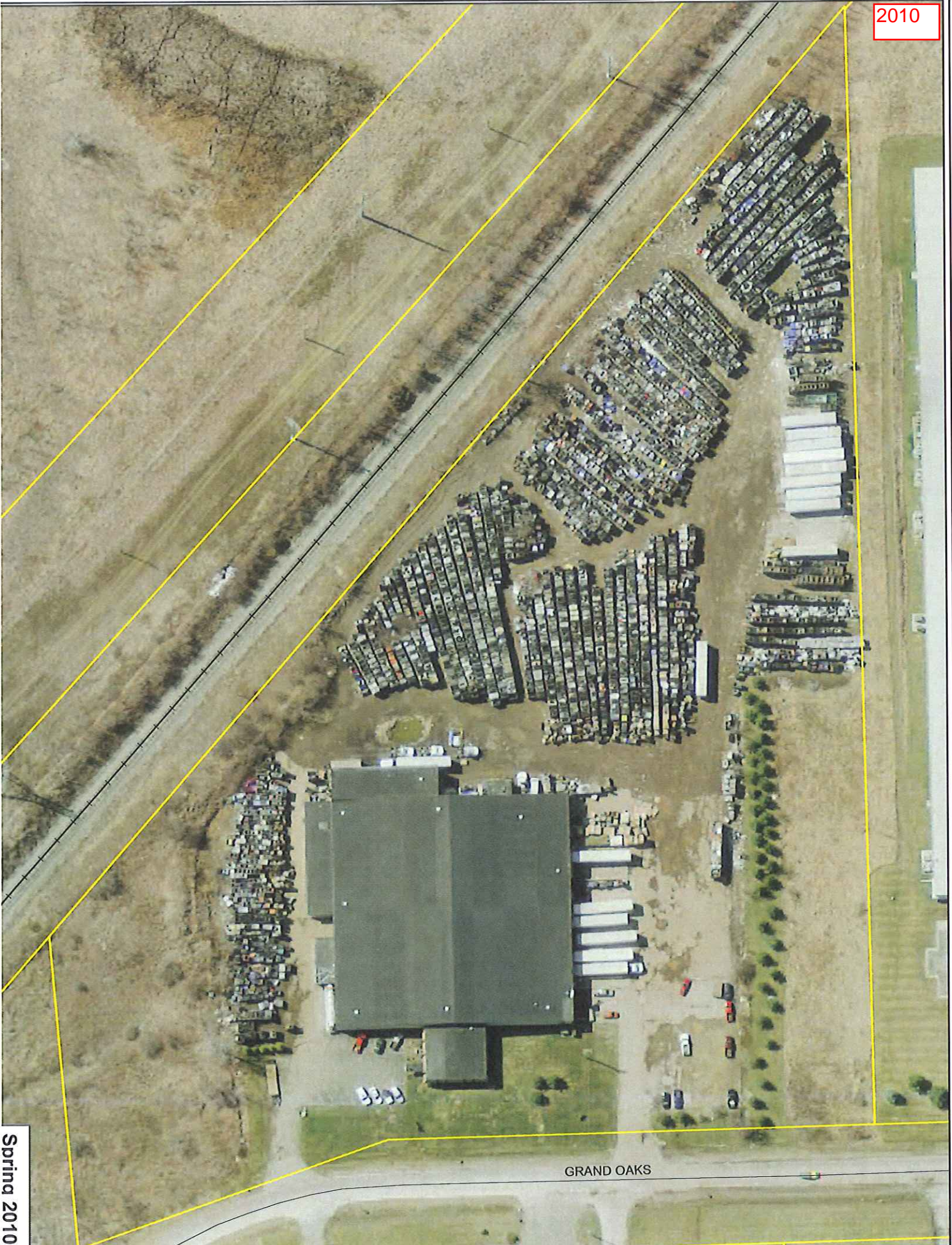
2008



GRAND OAKS

2008

2010



Spring 2010

GRAND OAKS

2011



Google earth



Oct. 4
2011





1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks



1480 Grand Oaks

6. The requirements outlined in the Township Engineer's letter of September 8, 2010 have been complied with;
7. The requirements set forth in the Fire Department letter of August 30, 2010 shall be complied with. With regard to item number four, the petitioner will discuss and request clarification of that point from the author of the letter;

Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING # 5... Review of a special use application, environmental impact assessment and site plan for existing non-compliant outdoor storage at Industrial Resin Recycling located at 1480 Grand Oaks Drive, Howell, Sec. 8, petitioned by Industrial Resin Recycling, Inc.

Chairman Brown addressed the Commission to update the Commission on how it came about that the petitioner was able to inhabit this building so quickly and that there was a fire on their former premises in Howell Township.

Bob Houston and Pat Cavanaugh of Industrial Resin Recycling and Pat Kehoe of Advantage Civil Engineering addressed the Planning Commission.

Mr. Kehoe reviewed with the Planning Commission what their goals are regarding the buffers, landscaping, etc. He also addressed the fact that it's economically unfeasible for this petitioner to bring some of these items into compliance.

Jeff Purdy discussed the requirement of outdoor storage being on pavement. The materials stored outside can not exceed the height of screening, so the material should be limited to 8'. He discussed landscaping. More evergreen are suggested than required and the Planning Commission may allow that rather than canopy trees. The petitioner is 128 trees short of the shrub requirement, but he doesn't feel that's necessary. He would suggest an additional 30 canopy trees along south and southwest sides of the site. Irrigation will be necessary. Dumpsters should be enclosed. This was the second review. Many items were addressed in the first site plan.

Tesha Humphriss discussed drainage and grading. She believes it will eventually be turned over to the Drain Commission after the easements are taken care of. The pond is over capacity and floods during storm events. The existing buildings and parking lots are "grandfathered in" as it relates to impervious surface. She believes 2 to 3 acres of gravel have been added since petitioner moved on site. The sedimentation basin is located in the middle of the fire lane.

Dean Tenge asks if drainage would be the same whether they occupy the premises or not. Tesha Humphriss indicates that it would. James Mortensen

feels that if a special use permit is granted, a time line should be put on it, which would require a review every 2 years or so. Chairman Brown indicated that the Planning Commission wants to work with the petitioner. The petitioner would like one year to reduce the height and volume of the racks. Chairman Brown indicated he would have no problem with the petitioners having outdoor storage at 8' behind their building. If petitioner could reduce their outdoor storage to that within one year, it would be helpful.

Dean Tenge feels it's more important to reduce the impervious surface than to get the height down. Discussion is held regarding allowing the petitioner to continue to keep the racks at 12' for one year to allow for more surface. The petitioner feels that within 24 months, the outside storage would be at an acceptable level to the Planning Commission and prior to that, the land could be reconfigured slowly to provide for proper drainage. James Mortensen feels there should be a review after one year to review the progress of the outdoor storage and getting the racks from 12' to 8'. Kelly VanMarter prefers a one year review, as well. The filing fee for the review may be waived.

The petitioner would like to hold off on discussion of the detention pond for a few years after the footprint of the outdoor storage is finalized. The detention pond would only account for the changes that they've made to the property since they took possession.

Allan Kelley addresses the Planning Commission. He asks if any of the outside storage is toxic. It is all plastics pursuant to the petitioner. Mr. Kelley asks if the goal is to eliminate outdoor storage completely. The petitioner indicates no, but they would reduce it until it can all be behind the building and screened.

Planning Commission disposition of petition

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment.
- C. Recommendation of Site Plan.

Motion by James Mortensen to recommend to the Township Board approval of a special use permit for outside storage for petitioner, subject to:

1. The long run objective for this special use permit will be to remove impervious surface back to the prior level before occupancy by Resin Recycling in order to improve drain water management;
2. The long run objective will be to reduce the racks from a 12' to 8' height within a two year period and they will be completely behind the building;
3. The special use permit will be granted for a 12 month period, expiring November 1, 2011, at which time the applicant will submit a letter to

- the Township outlining the reduction status of outside storage on the site;
4. Renewal of the outside storage special use can be made effective November 1, 2011 with a full waiver of the application fees;
 5. The materials stored on the site in outside storage will continue to be non-toxic;
 6. In the short run, a water truck rather than irrigation, will be satisfactory for planting irrigation;
 7. This recommendation is subject to the Township Board's approval of the environmental impact assessment and site plan.

Support by Barbara Figurski. **Motion carried unanimously.**

Motion by Barbara Figurski to recommend to the Township Board to approve the environmental impact assessment dated August 3, 2010, subject to:

1. Section D, as requested by the Township Engineer, storm water management should be revised to include an analysis of improvements to the site since petitioner occupied the building;
2. This recommendation is subject to approval of the Township Board of the special use permit and site plan.

Support by Diana Lowe. **Motion carried unanimously.**

Motion by James Mortensen to recommend to the Township Board approval of the petitioner's site plan dated August 24, 2010, subject to:

1. Approval by the Township Board of the special use permit and environmental impact assessment;
2. Additional landscaping requirements will apply only to the targeted long-run area of outside storage and will be reviewed in connection with the re-application for special use permit on November 1, 2011. The landscaping shown on the site plan along the Grand Oaks Drive frontage and the south side of the building shall be installed by 6/1/11. This site plan will be regarded as phase one. A phase two site plan will be reviewed 11/1/11 in regard to a special use application permit. At the end of phase one, petitioner will re-evaluate the required storm water management plan for the site per the anticipated reduction in impervious area;
3. The requirements of the Brighton Fire Department letter dated August 31, 2010 will be complied with, however the petitioner will discuss the issues with the vicinity of the southwest corner of the building with the author of the letter.

Support by Barbara Figurski. **Motion carried unanimously.**

OPEN PUBLIC HEARING # 6... Review of amendments to Zoning Ordinance Articles 11,14,16, & 25.

Kelly VanMarter briefly discusses the proposed changes in the zoning ordinance.

Jeff Purdy discusses changes required by the new medical marijuana laws.

Jeff Purdy discusses changes proposed in sign ordinance.

Planning Commission disposition of petition

A. Recommendation of Zoning Ordinance Amendments.

Motion by James Mortensen to recommend to the Township Board approval of the zoning ordinance revisions reviewed this evening and summarized in the memo by Kelly VanMarter on September 9, 2010 and the LSL letter of July 22, 2010. Second by Barbara Figurski. **Motion carried unanimously.**

Administrative Business:

- *Staff report*
- *Approval of June 14, 2010 Planning Commission meeting minutes. **Motion** by Barbara Figurski to adopt the minutes of June 14, 2010. Support by Diana Lowe . **Motion carried unanimously.***
- *Member Discussion*

Adjournment at 10:13

Kristi Cox
Recording Secretary

Moved by Smith, supported by Wildman, to approve the impact assessment dated 09/02/09 with changes to items d, g and h (addressing the impact of storage of diesel fuel for the generator and with dust control measures being added). This action corresponds with approval of the site plan with the following conditions set by the Planning Commission:

1. Board approval is contingent upon the Township attorney providing the board with clarification of the legal issues related to township easement and property rights. Homeowners Association shall enter into these agreements;
 2. The Township attorney will provide documentation to the Township Board indicating when the T-Mobile option to lease expires. The land use permit will not be provided for construction of the outbuilding until the T-Mobile option to lease has expired;
 3. The exterior of the building in terms of materials and colors will be as depicted in the rendering that was provided to the Township. The Township staff will be authorized to revise the colors and materials to match the local residences if that is the desire of the Homeowners Association;
 4. The antennae will be the same color as the water tower;
 5. No lighting will be on the water tower;
 6. A maintenance agreement satisfactory to the Township attorney is to be provided;
 7. Performance guarantee is to be provided and reviewed by Township attorney;
 8. The internal generator in the building is for power outages only and will comply with the sound ordinance;
 9. Dust control measures will be added to site plan;
 10. Requirements in the Township engineer's letter dated 10-7-09 will be complied with in regard to item #1, two electrical service meters will be provided for both the Township and cell tower. Item #4 shall require that no more than 10 feet of the driveway will be removed;
 11. The requirements filled out in the letter from the Township Utility Director and the Brighton Area Fire Department letter dated 10-5-09 will be complied with;
 12. A final review to be completed by the township attorney.
- The motion carried unanimously.

7. Request for approval of a special use permit, environmental impact assessment and site plan for an existing non-compliant outdoor storage for Industrial Resin Recycling located at 1480 Grand Oaks Drive, Howell, and Section 8, petitioned by industrial Resin Recycling, Inc.

A. Disposition of Special Use Permit

Moved by Ledford, supported by Smith, to approve the special use permit for outdoor storage with the following conditions:

1. To reduce the outside storage area and decrease the impervious surface back to the prior level before occupancy by Resin Recycling;
2. The height of the outdoor storage racks shall be reduced from a 12-foot height to an 8-foot height and racks shall be moved completely behind the building within a two year period;

3. The special use permit will be granted for 2 years with a requirement for annual review and approval by the Planning Commission. Phase one approval is granted through November 1, 2011. Prior to expiration of the Phase 1 permit, the applicant shall submit a letter to the Township requesting approval for Phase 2 and outlining the reduction status of outside storage on the site;
4. Review of Phase 2 of the Special Use Permit shall not require additional application fees;
5. The materials stored on the site in outside storage will continue to be non-toxic; and
6. For Phase 1, a water truck shall be used to irrigate the required landscaping. The motion carried unanimously.

B. Disposition of environmental impact assessment

Moved by Skolarus, supported by Wildman, to approve the impact assessment dated 09/27/10 as submitted. The motion carried unanimously.

C. Disposition of Site Plan

Moved by Ledford, supported by Smith, to approve the site plan with the following conditions:

1. The plans shall be amended to state that Phase 1 landscaping will be installed by June 1, 2011. Any other additional landscaping requirements (including those labeled as Phase 2) will apply only to the targeted future area of outside storage and will be reviewed in connection with the re-application for special use permit on November 1, 2011;
2. At the end of Phase one and prior to approval for Phase 2, the petitioner will re-evaluate the required storm water management plan for the site per the anticipated reduction in impervious area;
3. The petitioner shall comply with the requirements of the Brighton Area Fire Department.

The motion carried unanimously.

7. Request to approve leases for the Chilson and Dorr Road Fire halls.

Moved by Smith, supported by Wildman, to approve “in form” a five-year contract with the Brighton Fire authority, commencing at a term to be defined in conjunction with other members of the authority. The motion carried unanimously.

Skolarus advised the board that a minor change will be made to the life insurance program resulting in all members maintaining a minimum of \$10,000.00 of life insurance. No formal action was requested of the board.


The regular meeting of the Township Board was adjourned at 6:55 p.m.



Paulette A. Skolarus
Genoa Township Clerk



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Township Board
FROM: Kelly VanMarter, Planning Director 
DATE: December 1, 2011
RE: Livingston Commons Phase 1- PUD Amendment and Culver's Restaurant Environmental Impact & Site Plan Approval

MANAGER REVIEW:

Honorable Trustees,

I have reviewed the Amendment to the Planned Unit Development Agreement, revised site plan (dated 11/21/11), and Environmental Impact Assessment (dated 10/25/11) proposing development of a new Culver's restaurant within the Livingston Commons PUD. My review of the revised submittal was focused on compliance with the outstanding items discussed at the November 14, 2011 Planning Commission meeting at which this item was approved. In regard to action on the aforementioned, I recommend the following:

Recommendation of PUD Amendment: I recommend approval of the PUD Amendment with the following conditions:

- 1.) Inclusion of the suggested revisions in the letter dated December 1, 2011 and depicted in the red-lined version of the Agreement as recommended by Frank Mancuso, Township Attorney.

Impact assessment (dated 10-25-11): I recommend approval of the impact assessment with the following conditions:

- 1.) A statement that dust control measures will be used during construction needs to be added.

Site Plan (dated 11-21-11): I recommend approval of the site plan with the following conditions:

- 1.) Approval by the Township Engineer and Brighton Area Fire Department of the final site plan.
- 2.) The Petitioner should provide proof to the satisfaction of the Township Attorney regarding access to the waste receptacle.

Should you have any questions concerning this matter, please do not hesitate to contact me.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Steven Wildman

MANAGER

Michael C. Archinal

AUG 31 2011

**GENOA TOWNSHIP
APPLICATION FOR SITE PLAN REVIEW**

RECEIVED

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS*: METRO DESIGN AND BUILD INC 20031 CARLYSLE
DEARBORN, MI 48124
OWNER'S NAME & ADDRESS: KAREN RICHARDS - 3035 BROCKMAN ANN ARBOR
48104

SITE ADDRESS: _____ PARCEL #(s): 11-05-400-047 + 049

APPLICANT PHONE: (313) 563-5847 OWNER PHONE: (734) 231-7394

LOCATION AND BRIEF DESCRIPTION OF SITE: ON GRAND RIVER AVE. IN WALMART
PARKING LOT, BETWEEN BENNIGAN'S & BOB EVANS -

BRIEF STATEMENT OF PROPOSED USE: NEW CULVER'S RESTAURANT

THE FOLLOWING BUILDINGS ARE PROPOSED: NEW CULVERS RESTAURANT
3954 S.F. w/ TRASH CORRAL

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: RONALD J. NELSON METRO DESIGN AND BUILD, INC.

ADDRESS: 20031 CARLYSLE DEARBORN, MI. 48124

* If applicant is not the owner, a letter of Authorization from Property Owner is needed.

Contact Information - Review Letters and Correspondence shall be forwarded to the following:		
1) <u>RON NELSON</u>	of <u>METRO DESIGN AND BUILD</u>	at <u>(313) 561-5051</u>
Name	Business Affiliation	Fax No.

FEE EXCEEDANCE AGREEMENT	
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.	
SIGNATURE: <u>[Signature]</u>	DATE: <u>8-25-11</u>
PRINT NAME: <u>RONALD J. NELSON</u>	PHONE: <u>313-563-5847</u>
ADDRESS: <u>20031 CARLYSLE DEARBORN, MI. 48124</u>	

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
November 14, 2011
6:30 P.M.**

MINUTES

CALL TO ORDER: At 6:30 p.m., the meeting of the Genoa Township Planning Commission was called to order. Present constituting a quorum were James Mortensen, Chairman Doug Brown, Diana Lowe, Lauren Brookins, Dean Tengel, and Barbara Figurski. Also present was Kelly VanMarter, Township Planner.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was recited.

APPROVAL OF AGENDA: **Motion** by Barb Figurski to approve the agenda as submitted. Support by Jim Mortensen. **Motion carried unanimously.**

CALL TO THE PUBLIC: *(Note: The Board reserves the right to not begin new business after 10:00 p.m.)*

OPEN PUBLIC HEARING # 1... Review of PUD amendment, impact assessment and site plan for a proposed 3,954 sq.ft. restaurant with a drive-thru located on the south side of Grand River Avenue west of Latson Road, Howell, MI Sec. 5, petitioned by Metro Design and Build Inc.

Jim Mortensen asked for clarification on Exhibits B-1 and B-2. He inquired as to whether or not there will be enough parking for the Bennigan's and Culver sites. Mr. Ron Nelson with Metro Design and Build states there the parking is more than adequate.

Jim Mortensen states that before the Township Board reviews this item, the Township Attorney should look at the sub-lease agreements to make sure everything is right in regard to parking and traffic. There needs to be a legal review of the sub-agreements to make sure the Township is clear and free of any obligations.

Kelly VanMarter presents her letter dated November 10, 2011.

Chairman Doug Brown states that in the PUD Agreement there is reference to making sure the stacking spaces don't interfere with the ring road and that conflicts to the ring road are minimized. He doesn't understand what minimized means. Kelly VanMarter states that this will require any future applicants requesting a drive through restaurant to show that their project will have a minimal impact on the ring road. The Planning Commission and Township staff

will need to review future submittals on a case by case basis to determine if the impacts are minimized as criteria for approval.

Chairman Brown questioned if the water and sewer usage numbers in the Environmental Impact Assessment are accurate. Kelly VanMarter responds that staff had reviewed and discussed the numbers with the applicant prior to their formal submittal. She will double check the numbers to make sure they match.

Chairman Brown asks what a QSR is. Karen Newman responds that QSR is the national title for a quick service restaurant and it includes drive through and sit down restaurants. QSR's are your typical fast food restaurant. Doug Brown asks if Culver's is considered a QSR. Karen Newman responds that Mr. Culver would call it fast casual and they do not consider themselves as a QSR, but technically the National Restaurant Association would consider it a QSR. They would like to be classified more like a Bennigan's or Applebee's.

Doug Brown would like to see the PUD Amendment clarified that this amendment applies only to Phase 1, not Phase 2. The attorney should look at this.

Jim Mortensen doesn't like that the agreement says that the Township "acknowledges". The Township should not acknowledge. This wording should be removed. We have been convinced of these items, we do not acknowledge.

Jim Mortensen asks for clarity on what is being requested in regard to signage. Ms. VanMarter explains that they are requesting 2 monument signs on Lot 4. One each on sub-lots 4A and 4B. Chairman Brown asked the petitioner why they are asking for the second wall sign on the back of the building. Karen Newman states that the sign on the interior ring road will minimize traffic on Grand River and will allow people to see the signs if south of the site or if headed northbound on Latson Road.

Planning Commission disposition of petition

A. Recommendation of PUD amendment.

Motion by Jim Mortensen to recommend approval of the PUD Amendment for Livingston Commons to the Township Board providing for a new Culver's Restaurant and other changes subject to the following conditions:

- 1.) Approval by the Township Board of the Environmental Impact Assessment and Site Plan related to the Amendment.
- 2.) The document shall be reviewed and approved by the Township Attorney.
- 3.) Township Staff shall verify that the marked up version reviewed tonight is identical to the clean copy in tonight's material.

- 4.) The statements regarding the Township "acknowledging" contained within the agreement should be altered or eliminated. The township does not acknowledge...it approves or disallows.
- 5.) The last sentence on Page 3, Item 1. (D.) regarding the owner reserving the right to further configure the lots should state that this would be subject to Township review and approval.
- 6.) The Amendment approved tonight applies to Phase 1 only, not phase 2. This should be clarified in the Agreement.
- 7.) The Township Attorney shall review the parking and lot split agreements to see if the Township is appropriately protected and to determine whether or not they should be recorded. The Agreements referenced are those between Lot 4, Sub-lot 4a, Sub-lot 4, and Wal-Mart.

Support by Figurski. **Motion carried unanimously.**

B. Recommendation of impact assessment.

Moved by Barb Figurski to recommend to the Township Board approval of the Environmental Impact Assessment dated 10/25/11 with the following conditions:

- 1.) Dust control measure need to be added.
- 2.) Approval is contingent on Board approval of PUD Amendment and site plan.
- 3.) Any electronic messages signs will be consistent with Township Zoning Ordinance.
- 4.) A statement should be added to require compliance with the Township Noise Ordinance.

Support by Jim Mortensen. **Motion carried unanimously.**

C. Recommendation of site plan.

Moved by James Mortensen, to recommend approval of the revised site plan for a Culvers restaurant upon the following conditions:

- 1.) Approval by the Township Board of the PUD Amendment and Environmental Impact Assessment as modified this evening.
- 2.) Approval by the Township Engineer and Brighton Area Fire Department of the site plan.
- 3.) The site plan should be revised to show where the larger vehicle spaces will be located in the parking are to the south.
- 4.) The site plan shall be revised to show turning movements to accommodate trucks exiting the loading area and to show that trucks can enter and exit the proposed dumpster.
- 5.) The Petitioner should provide proof to the satisfaction of the Township Attorney regarding access to the waste receptacle.
- 6.) A note should be added to site plan indicating that grease containment will occur inside Culvers.
- 7.) The photometric plan shall be revised to reflect the fixtures being proposed.

- 8.) A second building sign is being allowed for Culvers so that north bound traffic can see from the south view that Culvers exists in the Livingston Commons development and thus avoiding going onto Grand River and having to turn left into the site.

Support by Diana Lowe. **Motion carried unanimously.**

Administrative Business:

- *Staff report. Kelly VanMarter gave the staff report. The next meeting of the Planning Commission will be December 12. She expects to have two items on the Agenda. Krug Ford is looking to add an oil change facility and the old Dick's Sporting Goods store is being considered for a sports training facility.*
- *Approval of October 11th, 2011 Planning Commission meeting minutes. Motion by Figurski to approve the minutes of the October 11th, 2011 meeting. Support by Mortensen. Motion carried unanimously.*
- *Member Discussion. There was no member discussion.*

Adjournment. **Motion** by Diana Lowe to adjourn the meeting at 7:32pm. Support by Barb Figurski. **Motion carried unanimously.**

Submitted by:

Kelly VanMarter



November 10, 2011

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

Planning Commission
Genoa Charter Township
2911 Dorr Road
Brighton, Michigan 48116

Subject: Culver's Restaurant – PUD Amendment and Site Plan Review #3
Location: Grand River Avenue - South of Grand River, west of Latson Road
Zoning: NRPUD – Non-Residential Planned Unit Development
Applicant: Ron Nelson, Metro Design & Build, Inc.

Dear Planning Commission:

I have reviewed the Amendment to the Planned Unit Development Agreement, revised site plan (dated 10/26/11), and Environmental Impact Assessment (dated 10/25/11) proposing development of a new Culver's restaurant within the Livingston Commons PUD. My review of the revised submittal was focused on compliance with the outstanding items discussed at the October 11, 2011 Planning Commission meeting at which this item was tabled.

A. Summary of Issues:

1. The overlay of the Culver's Site Plan on the PUD Concept Plan shall be revised to reflect the most recent version of the plan.
2. The General Notes regarding impervious surface on Sheets C-2 and C-3 shall be corrected to the revised calculation.
3. The area for larger vehicle parking shall be shown on the plans.
4. Truck turning movements shall be shown for trucks exiting the on-site loading area and for circulation to and from the dumpster.
5. The applicant shall provide authorization for access to the dumpster on the Bennigan's Lot (Sub-Lot 4A).
6. The plans indicate grease containment within the dumpster enclosure contrary to what was stated at the last meeting. This should be clarified.
7. The luminaire schedule on the photometric plan shall be revised to match the fixture details provided.
8. The Planning Commission may authorize the second wall sign.
9. The Impact Assessment should state that the external ordering speaker will comply with the Township Noise Ordinance.

B. PUD Amendment

The revised submittal includes an amended PUD Agreement and Concept Plan. The current revisions to the PUD Agreement are summarized below:

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Steven Wildman

MANAGER

Michael C. Archinal

- a. The PUD Agreement has been modified to give the Planning Commission the ability to approve the proposed Culver's drive-through while requiring Special Land Use approval for any future drive through restaurants within Phase 1.
- b. The subdivided lots resultant from the amendment have been relabeled as Sub-Lot 4A and Sub-Lot 4B for clarity.
- c. The amended Agreement recognizes that there is excess parking within the development site and that cross-easements will provide for adequate parking for all existing and proposed uses.
- d. The Agreement states that drive-through restaurant facilities shall only be considered when proper stacking can be accommodated and when conflicts with the internal road network are minimized.
- e. The revisions to the Agreement will allow for Sub-Lots 4A and 4B to be treated as independent lots for the purposes of signage.
- f. Any electronic message signs are required to conform to the provisions of the Township Zoning Ordinance.
- g. The Concept Plans supplied with the amended PUD show the existing and proposed changes to Lot 4. The overlay of the Culver's site plan on the concept plans reflect a prior version of the site plan. The plans should be revised to reflect the most current site plan.

In my opinion, the revisions to the amended PUD Agreement address the concerns discussed at the October 11, 2011 meeting. If authorized, the Exhibits should be revised to reflect the approved plans.

C. Revised Site Plan Review

1. **Dimensional Standards.** The impervious surface was corrected on Sheet C-1 to reflect the reduction in the amount of parking as requested. The General Notes regarding impervious service on Sheets C-2 and C-3 must also be corrected.
2. **Landscaping.** The 4 additional canopy trees have been added to the plan.
3. **Parking.** The parking spaces have been double striped as required. The site plan has been revised to show 8 stacking spaces for the drive through as discussed at the last meeting. A statement was added to the environmental impact assessment (EIA) indicating how this restaurant differs from a traditional fast foot/quick service restaurant. The EIA states that only 25%-30% of their business uses the drive through therefore the 8 stacking spaces provided is adequate.

A note on sheet C-1 indicates the larger vehicle spaces will be accommodated in the parking area to the south. However, there is no indication of such spaces on the plan. The view should be expanded to show the location of this area.

4. **Loading.** Truck turning movements entering the loading area have been added to the plans. Turning movements should also show how trucks will exit the loading area. The truck movements show the need to swing into parking spaces to back into the loading zone. The Impact Assessment has been revised to indicate that all deliveries to the site will occur during non-business hours.

- 5. Waste Receptacle and Enclosure.** The waste receptacle has been corrected to show a 6' tall enclosure. The plan has been expanded to show access to the dumpster however, circulation to and from needs to be shown on the site plan. The applicant should provide proof of authorization for shared usage.

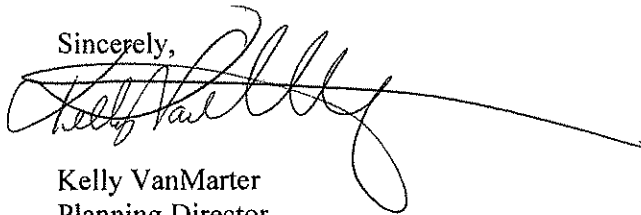
At the last meeting, the owner stated that all grease containment would occur inside the building. The dumpster enclosure details on sheet A-12 indicate grease containment within the dumpster enclosure. This should be clarified.

- 6. Exterior Lighting.** The revised submittal includes a full photometric plan and fixture details. The fixtures provided do not match the fixtures listed in the luminaire schedule on the photometric plan. The photometric plan should be revised to accurately reflect the fixtures being proposed.
- 7. Signs.** The proposed signage complies with Township Ordinances and the Development Agreement. The amendment to the PUD Agreement states that the Electronic Message Sign shall comply with the Township Ordinance. The Planning Commission may authorize the second wall sign under certain circumstances when it is deemed they require additional visibility.
- 8. Impact Assessment.** A revised Impact Assessment dated 10/25/11 has been provided. The applicant has added detail to further support that the project is not anticipated to create any adverse impacts upon natural features, public services/utilities, surrounding land uses or traffic.

In the section regarding Impacts to Surrounding Land Uses the applicant should add a statement that the external ordering speaker shall comply with the Township Noise Ordinance.

Should you have any questions concerning this matter, please do not hesitate to contact me at (810) 227-5225.

Sincerely,

A handwritten signature in black ink, appearing to read "Kelly VanMarter", with a long horizontal flourish extending to the right.

Kelly VanMarter
Planning Director



TETRA TECH

September 26, 2011

Ms. Tesha Humphriss, P.E.
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Culver's Restaurant
Site Plan Review #2**

Dear Ms. Humphriss:

As requested, we have performed a second review of the above-referenced site plan as prepared by Metro Design Build, Inc. dated September 21, 2011. Our initial review comments presented in our September 13, 2011 letter have been satisfactorily addressed with the revised site plan. Therefore we have no engineering related objections to the approval of the site plan.

If you have any questions, please call.

Sincerely,

Gary J. Markstrom, P.E.
Unit Vice President

Deann E. Falkowski, P.E.
Project Engineer

200-12736-00-000

Copy: Ronald J. Nelson, Metro Design Build, Inc.

Tetra Tech

123 Brighton Lake Road, Suite 203, Brighton, MI 48116
Tel 810.220.2112 Fax 810.220.0094 www.tetrattech.com



Brighton Area Fire Department

615 W. Grand River

Brighton, Michigan 48116

810-229-6640 Fax: 810-229-1619

October 5, 2011

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Culver's Restaurant
Grand River
Genoa Township
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on September 23, 2011 and the drawings are dated August 31, 2011. The project is based on a new 3,945 square foot building (A2 with automatic fire sprinklers). The plan review is based on the requirements of the International Fire Code (IFC) 2009 edition. Previous comments appear to be addressed by the applicant in the revised submittal.

1. The water main location is indicated on the submittal. Provide the location of the closest (2) hydrants to the site. A hydrant shall be located within 100' of the fire department connection. *The main is shown although location of the fire department connection should be on the site plan.*

IFC 912.2

2. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems.*

IFC 903

- A. The location, size, gate valve, and connection of the fire protection lead shall be indicated on the utility site plan.

Completed – subject to building approval permit process.

3. *Complete.* Future project submittals shall include the address and street name of the project in the title block.

IFC 105.4.2

4. *Complete.* The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. Provide a detail and indicate location on north elevation.

IFC 505.1

5. Field verify the location of a key box (Knox Box) shall be indicated on future submittals (North Side). The Knox box will be located adjacent to the front door of the structure.
IFC 506.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,



Michael D. O'Brian
Fire Marshal

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Genoa Township
2911 Dorr Road
Brighton, MI 48116

October 25, 2011

Attn: Genoa Township
Planning Commission

Re: Impact Statement for proposed
Culvers Restaurant
Grand River & Latson Road

Name(s) & address(es) of person(s) responsible for preparation

Metro Design and Build Inc	Architectural Concepts
20031 Carlisle	6650 Crossing Rd. S.E.
Dearborn, MI. 48124	Grand Rapids, MI. 49508
Ron Nelson	Ken Watkins

Maps & written description/analysis of the project site

This site is currently being used and maintained by Wal Mart and is owned by RLG Howell LLC. The site consists of a portion of the Bennigan's parking lot and the remote overflow parking spaces for Wal-Mart. The lot fronts Grand River Ave. on the North, is improved with asphalt paving, lot lighting, curbs, storm drainage, and access to the "Ring Road" on the South side. The proposed Culvers project would be utilizing 48711 SF of the existing parcel. Please refer to submitted plans for locations of existing features.

Impact on natural features

This project will enhance the current area by reducing paved areas with the addition of new landscaping and a new facility. All natural features were eliminated during the initial development of the site when the paving and site improvements were installed. Therefore there will be no impact on any natural features.

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Impact on storm water management

This project will actually improve the existing storm run-off for this site by reducing the existing impervious pavement by approx. 4000 SF with new landscaping. Silt fencing will be used on the perimeter of the site during construction and filters will be placed over all existing and new storm basins. The site naturally drains to the existing regional detention system for the Livingston Commons project and meets all standards of the governing agencies.

Impact on surrounding land used

This project will not impact the existing surrounding land uses. It is bordered on the West side by Bob Evans and on the East by Bennigans, both similar restaurant uses. There will be a drive thru associated with this project and thus an external ordering point (speaker). The sound level emitted by this unit has an adjustable range of 0 to 95 db. The unit will be located in the rear of the building and facing the ring road and will not be audible to either Bob Evans or Bennigans. This speaker will conform to the Township noise ordinance. The stocking of this building takes place outside of business hours (10 AM to 10 PM Sunday, through Wednesday and 10 AM to midnight Thursday through Saturday). The truck is able to back into the drive thru lane to access the rear door to off-load without disruption to traffic.

Impact on public facilities & services

A typical Culvers Restaurant has 10-12 employees per shift, and yearly guest counts of around 190,000. The peak projected guest count between noon and 1:00 PM would be approx. 100-120 guests per hour with 30% of those guests using the Drive thru and 70% using the lobby.

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Impact on public utilities

This development will be utilizing the existing utilities as shown on our plan submittals. We will be tapping into the existing 8" water main, the existing 8" sanitary line, and the existing 15" storm sewer utilizing the existing detention basin, which is a part of the original Wal-mart system. An average Culver's uses the following:

Water usage – average quarterly use is 248,000 gal.

Natural gas – ave. peak monthly usage is 778.47 THM

Electricity – ave. monthly usage is 25,880 KWH.

All systems that are being utilized were designed to handle usage in excess of Culver's needs.

Storage & handling of any hazardous materials

There will be no hazardous materials used or stored at this facility

Impact on traffic & pedestrians

This development will be accessed from the current Wal-Mart ring road and will not have any curb cuts onto Grand River Ave. Research indicates that 70% of Quick Service Restaurant (QSR) visits are impulse visits, from customers already on the existing roadways. Consequently only 30% of the visits to Culver's would be new trips for the road systems. Overall traffic volumes will be minimally impacted. Given that, the traffic levels should remain fairly consistent with current counts after the opening of the Culver's. The proposed new infrastructure changes, including the new I-96 interchange and Latson Rd improvements will further negate any impact of traffic increases from this development. The current walk along Grand River will be maintained for pedestrian traffic during and after construction is completed. The required drive thru stacking requirement of the Township is excessive for Culver's operation. Because the small percentage of drive thru business which is 25%-30% compared to QSR average of 70%-80% the stacking shown on the plans is adequate for the intended purpose. We are requesting that this requirement be lowered for this facility to an 8 car stack with 3 waiting spaces for a total of 11 D.T. spaces.

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Special Provisions:

The site is subject to the following (Special Provisions):

- Declaration of restrictions & easements for outlets
- Plan unit development agreement
- Plan unit development agreement for Phase II land
- Easement with covenant & restrictions affecting land ("ECR")

If you have any questions or require more info on any of the above information,
please give me a call @ 313.563.5847

Sincerely,
Metro Design & Build, Inc.

Ronald J. Nelson - President

COVER SHEET FOR
AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT
BETWEEN
RLG HOWELL LLC AND GCG HOWELL LLC
AND
TOWNSHIP OF GENOA
DATED _____, 2011

Prepared By and After Recording
Return To:

April Ann Jordan
Hedrick & Jordan Co., LPA
124 E. Third Street, Suite 300
Dayton, Ohio 45402
937-228-3889

**STATE OF MICHIGAN
COUNTY OF LIVINGSTON
TOWNSHIP OF GENOA**

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT

This Amendment to Planned Unit Development Agreement is made and entered into this ____ day of _____, 2011, by RLG HOWELL LLC, a Michigan limited liability company, and GCG HOWELL LLC, a Michigan limited liability company, both of 10050 Innovation Drive, Suite 100, Dayton, Ohio 45342 (collectively, "Owner") and GENOA CHARTER TOWNSHIP, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 ("Township").

RECITATIONS:

Owner possesses fee title to certain real property located in Genoa Charter Township, Livingston County, State of Michigan, described in that certain Planned Unit Development Agreement dated April 6, 1999, and recorded at Liber 2609, Page 0205 of the records of Livingston County, Michigan (the "Phase I PUD").

Subsequent to the Phase I PUD, Owner and Township entered into that certain Planned Unit Development Agreement for Phase II Land dated August 17, 2009, and recorded at 200R-023916 of the records of Livingston County, Michigan (the "Phase II PUD"). The Phase I PUD applied to Phase I and Phase II land described therein, and the Phase II PUD Agreement modified provisions pertaining to Phase II

The Phase I PUD required parking for the "Wal-Mart Parcel as shown on Exhibit A-1 that included two (2) remote parking areas, one located between Lot 3 and Lot 4, and one located between Lot 4 and Lot 5, both as depicted on therein (the "Remote Parking Areas"). The Remote Parking Areas are presently subject to cross easements for parking pursuant the Declaration of Restrictions and Easements for Outlots recorded at Liber 2652, page 0082 of the records of Livingston County, Michigan. Township and Owner agree that the Remote Parking Areas have not regularly been used for the parking of vehicles for customers of Wal-Mart, and that the Remote Parking Areas would better serve Lot 4.

Owner desires to reconfigure Lot 4 described on Exhibit A-1 attached hereto to create two sub-parcels for the purposes of the PUD (but not parcels for conveyance purposes unless and until all applicable subdivision requirements are met), to be known as Sub-lot 4A and Sub-lot 4B, depicted on Exhibit B-2 attached hereto, which would utilize the Remote Parking Areas. The Township has agreed to amend the Phase I PUD to provide for such reconfiguration subject to the Phase I PUD, and pursuant to the terms and conditions contained herein.

NOW, THEREFORE, Owner and Township, in consideration of the mutual promises contained in this Agreement, hereby agree that the Phase I PUD Agreement shall be amended as follows:

1. Article 1, General Terms of Agreement, subsection 1.5, shall be amended to add the following additional paragraph D:

D. The configuration of Lot 4 shall hereby be modified to divide Lot 4 into two (2) separate parcels for all purposes under the Phase I PUD (but not for conveyance purposes) , which shall be known as Sub-lot 4A and Sub-lot 4B respectively, and depicted on Exhibit B-2 attached hereto. The Township hereby agrees that the parking spaces contained in the Remote Parking Areas may be counted as parking spaces for the use of Sub-lot 4A and Sub-lot 4B via the existing cross-easement agreement. Owner understands that Sub-lots 4A and 4B shall remain subject to the terms of the Phase I PUD except as otherwise set forth herein. Owner reserves the right to configure Sub-lots 4A and 4B further to include the Remote Parking Areas adjacent to said Lots subject to Township review and approval.

2. Article 2, Land Use Authorization, subsection 2.1, shall be amended to delete the sentence reading “Further, only one drive through restaurant facility shall be permitted and such use shall only be permitted on Lot #1.” The following shall be placed in its stead:

Drive through restaurant facilities may be allowed on Sub-lot 4B within five hundred feet (500’) of another drive through restaurant facility, subject to the approval of the Township. Additional drive through restaurant facilities may be allowed on all parcels within five hundred feet (500’) of each other, subject to Special Land Use approval by the Township, including the Special Use Requirements as outlined in the Special Land Use Regulations as they may exist from time to time. The Township and Owner agree that this use shall be considered upon providing that the stacking or queuing of such drive through restaurant facilities shall be sufficient to accommodate expected peak volumes and to minimize conflict with the internal road network located on the Property as well as any public roadways.

3. Article 6, Site Improvements, subsection 6.5h., shall be amended to add the following:

Notwithstanding anything contained in the Phase I PUD to the contrary, the Parking ratio applicable to the Wal-Mart Parcel shall be four (4) parking space per one thousand (1,000) square feet of gross floor area located on the Wal-Mart Parcel. The parking lot configuration sizes and quantities of stalls for the Wal-Mart Parcel, Sub-lot 4A and Sub-lot 4B shall be as shown on the revised site plan attached hereto as Exhibit B-2. Without limiting the generality of the foregoing, it is agreed that because the main parking area on the Wal-Mart Parcel is sufficient to meet the standards independent of the Remote Parking Areas, the Remote Parking Areas are not required for the operation of the Wal-Mart Parcel

and instead parking stalls contained therein shall be counted to meet any parking requirements on Sub-lot 4A and Sub-lot 4B as hereby reconfigured. Provided, however, any reconfiguration of the legal parcels shall be subject to further review approval of the Township.

4. Article 7, Design of Building and Signs, subsection 7.2, Signage, shall be amended to add the following additional sentence:

Sublot 4A and Sub-lot 4B shall be treated as separate parcels for purposes of the PUD (but not for conveyance purposes), and as such Sub-lot 4A and Sub-lot 4B shall each be entitled to separate signage as described herein. Provided however, the parties acknowledge that Sub-lot 4A (presently occupied by Bennigan's) shall be entitled to two (2) monument signs as a result of the reconfiguration of the intersection of Latson Road and Grand River Avenue. The additional free standing sign for Sub-lot 4B shall not diminish the right to two (2) monument signs for Sub-lot 4A. Additionally, any electronic message signs in the Development shall be subject to the requirements of the Township Zoning Ordinance.

APPROVED by Owner on this ____ day of _____, 2011.

WITNESSES:

RLG HOWELL LLC, a Michigan limited liability company

By: Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated September 18, 2000, Randall L. Gunlock, Grantor, Managing Member

By: Randall L. Gunlock
Its: Trustee

GCG HOWELL LLC, a Michigan limited liability company

By: Glenn C. Gunlock
Its: Managing Member

STATE OF)
) SS:
COUNTY OF)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated September 18, 2000, Randall L. Gunlock, Grantor, Managing Member of RLG Howell LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

STATE OF)
) SS:
COUNTY OF)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by Glenn C. Gunlock, Managing Member of GCG Howell LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

APPROVED by the Township Board for the Township of Genoa on the ____ day of _____, 2011, at a meeting duly called and held.

WITNESSES:

TOWNSHIP OF GENOA:

 By:
 Its:

 By:
 Its:

STATE OF)
) SS:
 COUNTY OF)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by _____, who was duly authorized by the Genoa Township Board to sign this Amendment on behalf of Genoa Township and who acknowledged the same to be his/her free act and deed.

 Notary Public

STATE OF)
) SS:
 COUNTY OF)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by _____, who was duly authorized by the Genoa Township Board to sign this Amendment on behalf of Genoa Township and who acknowledged the same to be his/her free act and deed.

 Notary Public

EXHIBITS

Exhibit A-1	Lot 4 legal description
Exhibit A-2	Existing Conditions PUD Site Plan
Exhibit B-1	Amended PUD Site Plan
	--Revised Parking
	-- Sub-Lot 4A and Lot 4B

EXHIBIT A-1

Lot 4
11-05-400-047

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;
Thence South 87 degrees 37 minutes 12 seconds West along the South line of said section, 60.02 feet

to the westerly right-of-way line of Latson Road;

Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 214.95 feet to the Point of Beginning;

Thence South 88 degrees 27 minutes 00 seconds West, 213.08 feet;

Thence North 01 degrees 33 minutes 24 seconds West, 71.01 feet to a tangential curve to the left;

Thence northwesterly along said curve, $R = 102.00$, $\Delta = 62$ degrees 27 minutes 31 seconds, a distance of 111.19 feet;

Thence North 64 degrees 00 minutes 14 seconds West, 59.21 feet;

Thence North 25 degrees 59 minutes 46 seconds East, 236.98 feet to a point on the southerly right-of-way line of Grand River Road;

Thence South 63 degrees 57 minutes 17 seconds East, along said right-of-way, 233.50 feet to a point on the westerly right-of-way line of Latson Road;

Thence South 20 degrees 31 minutes 52 seconds East, along said right-of-way line, 21.17 feet;

Thence South 00 degrees 54 minutes 40 seconds, East, along said right-of-way line, 270.73 feet to the Point of Beginning.

Said parcel contains 2.03 acres, more or less.

The intent of this description is to run along the back of curb along a proposed access drive where applicable.

This parcel description is one of twelve parcels that collectively make up parcels 1 and 2 as described in the Alta Survey, dated September 23, 1998, with no gaps or gores.

I-96

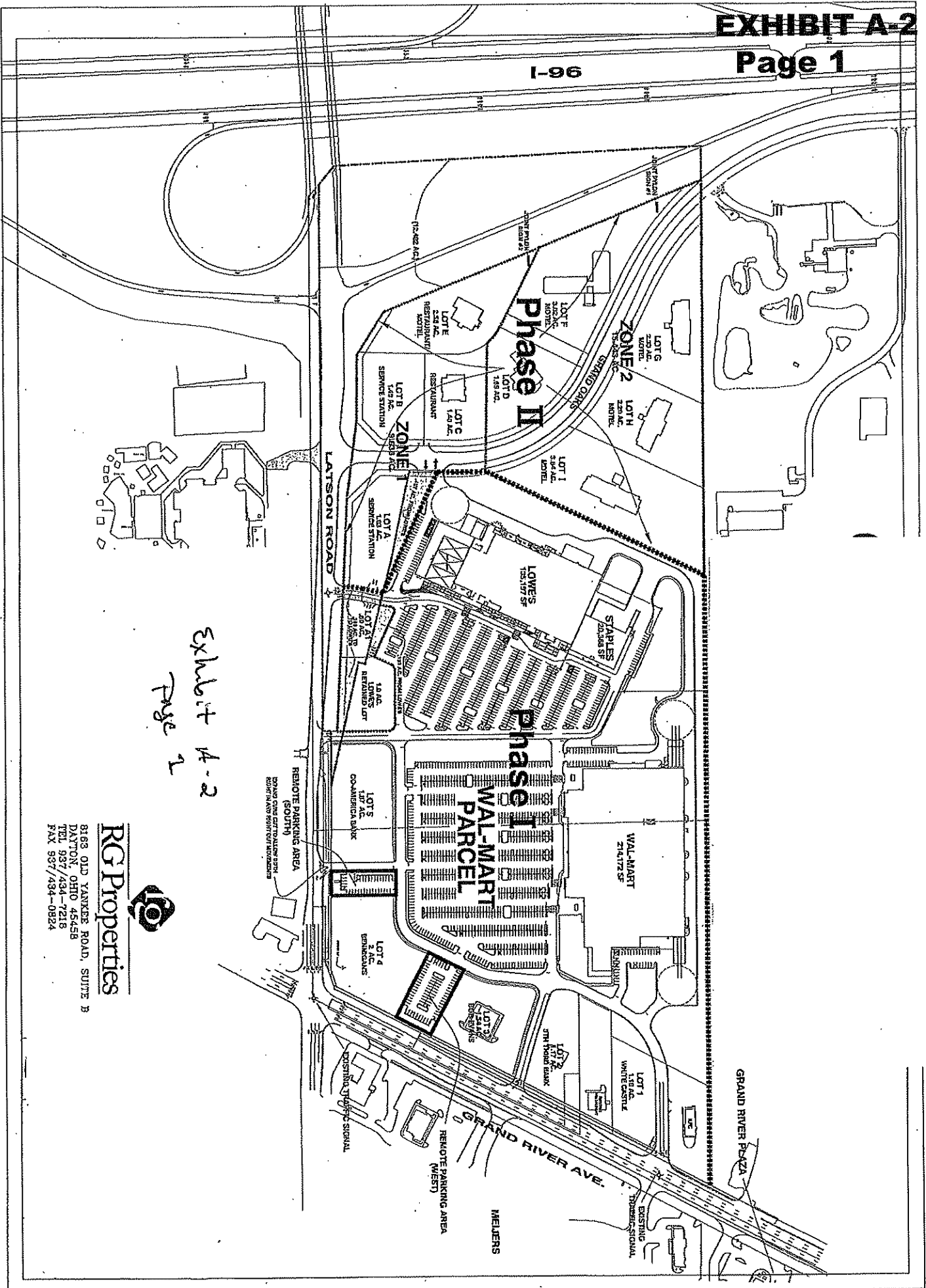


Exhibit A-2
Page 1

RG Properties



8168 OLD YANKEE ROAD, SUITE B
DAYTON, OHIO 45458
TEL 937/434-7218
FAX 937/434-0824

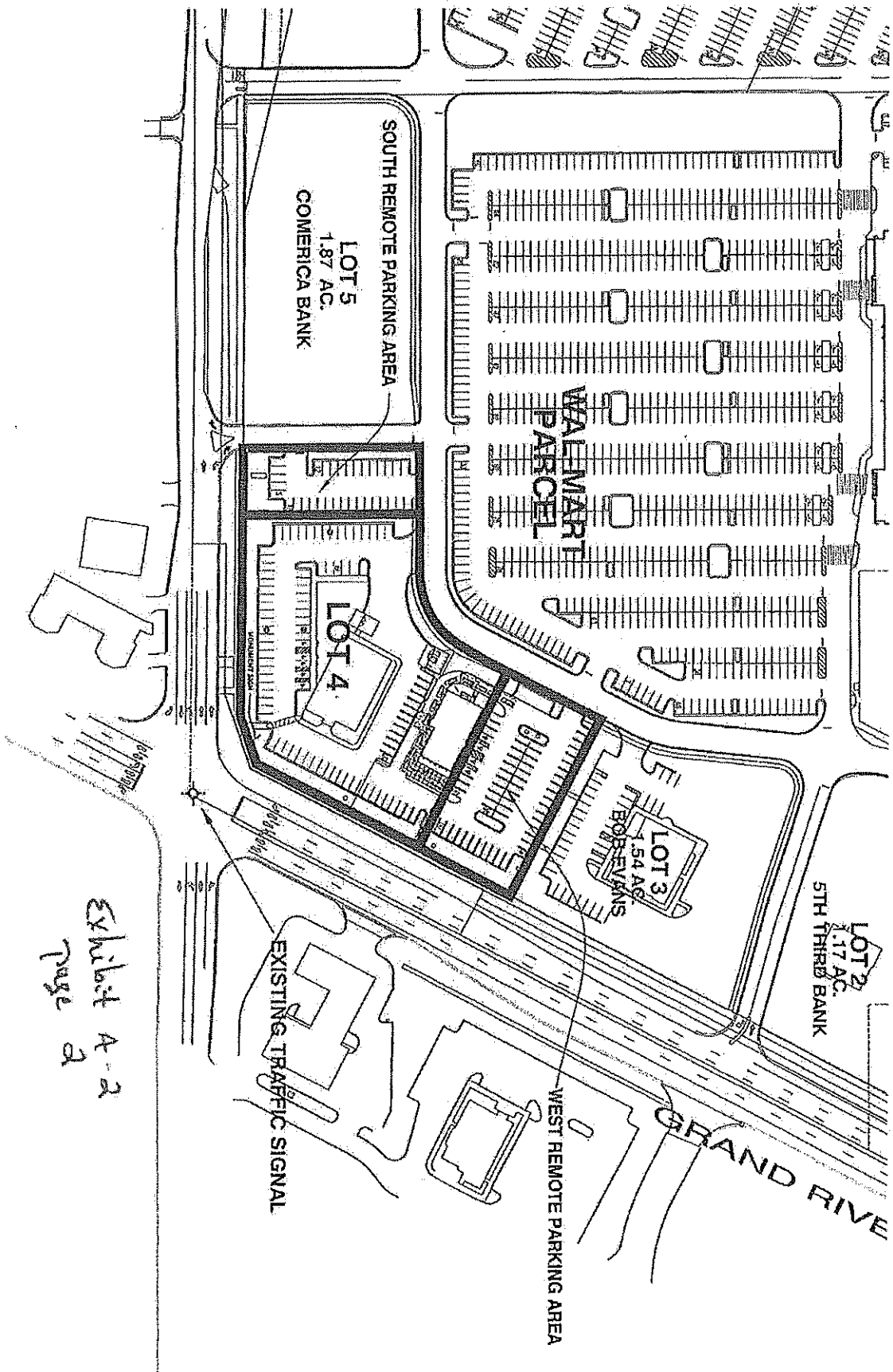
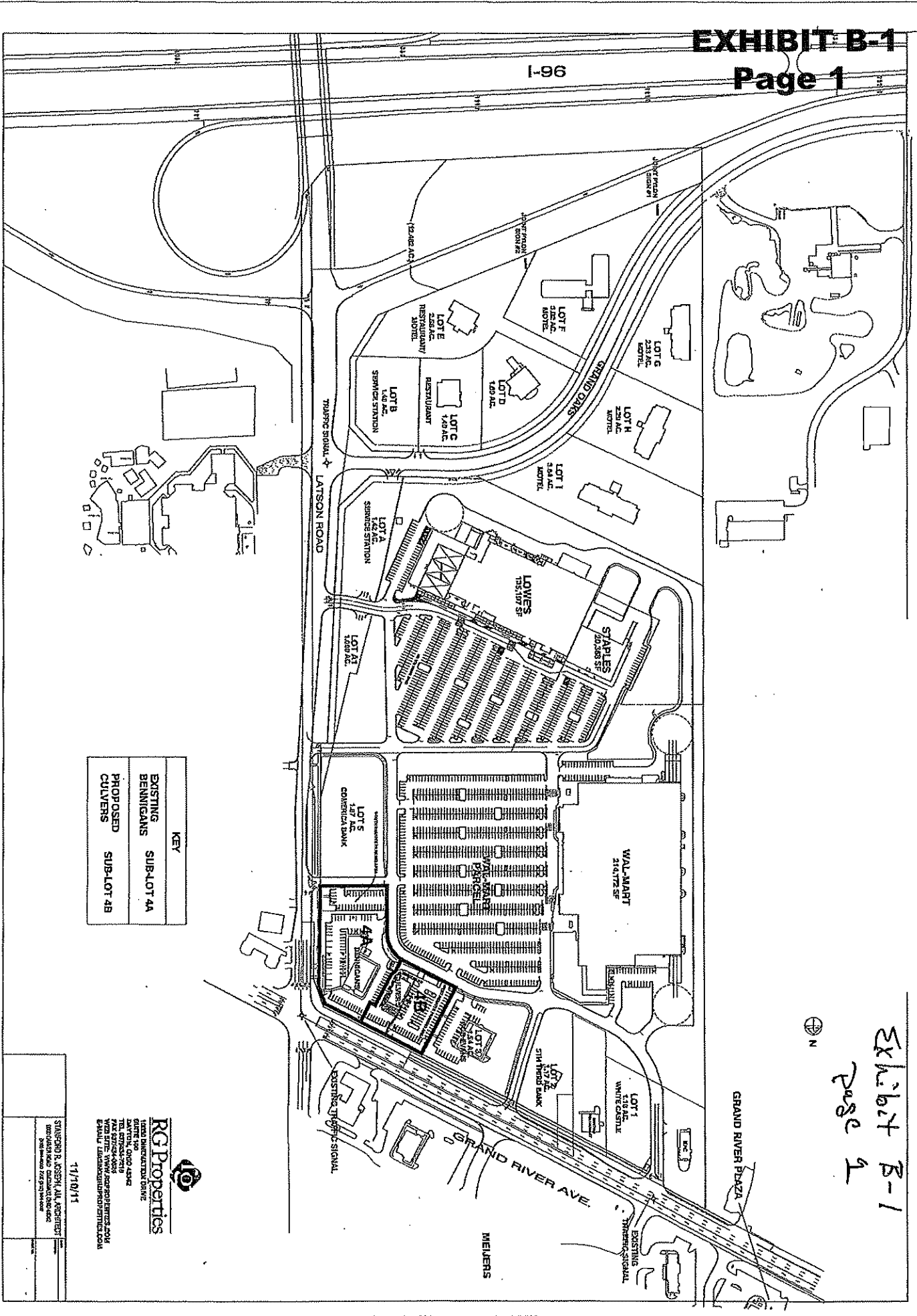


Exhibit A-2
page 2

I-96



KEY	
EXISTING	SUB-LOT 4A
PROPOSED	SUB-LOT 4B
CULVERS	



Exhibit B-1
Page 1

RG Properties
 11111 GRAND RIVER BLVD
 SUITE 100
 AVONDALE, OHIO 43123
 TEL: 614-891-1111
 FAX: 614-891-1112
 WWW.RGPROPERTIES.COM
 EMAIL: INFO@RGPROPERTIES.COM

11/10/11

STANISLAV R. KOSYRIN, AIA, ARCHITECT
 11111 GRAND RIVER BLVD
 SUITE 100
 AVONDALE, OHIO 43123
 TEL: 614-891-1111
 FAX: 614-891-1112
 WWW.SRKARCHITECTS.COM
 EMAIL: INFO@SRKARCHITECTS.COM

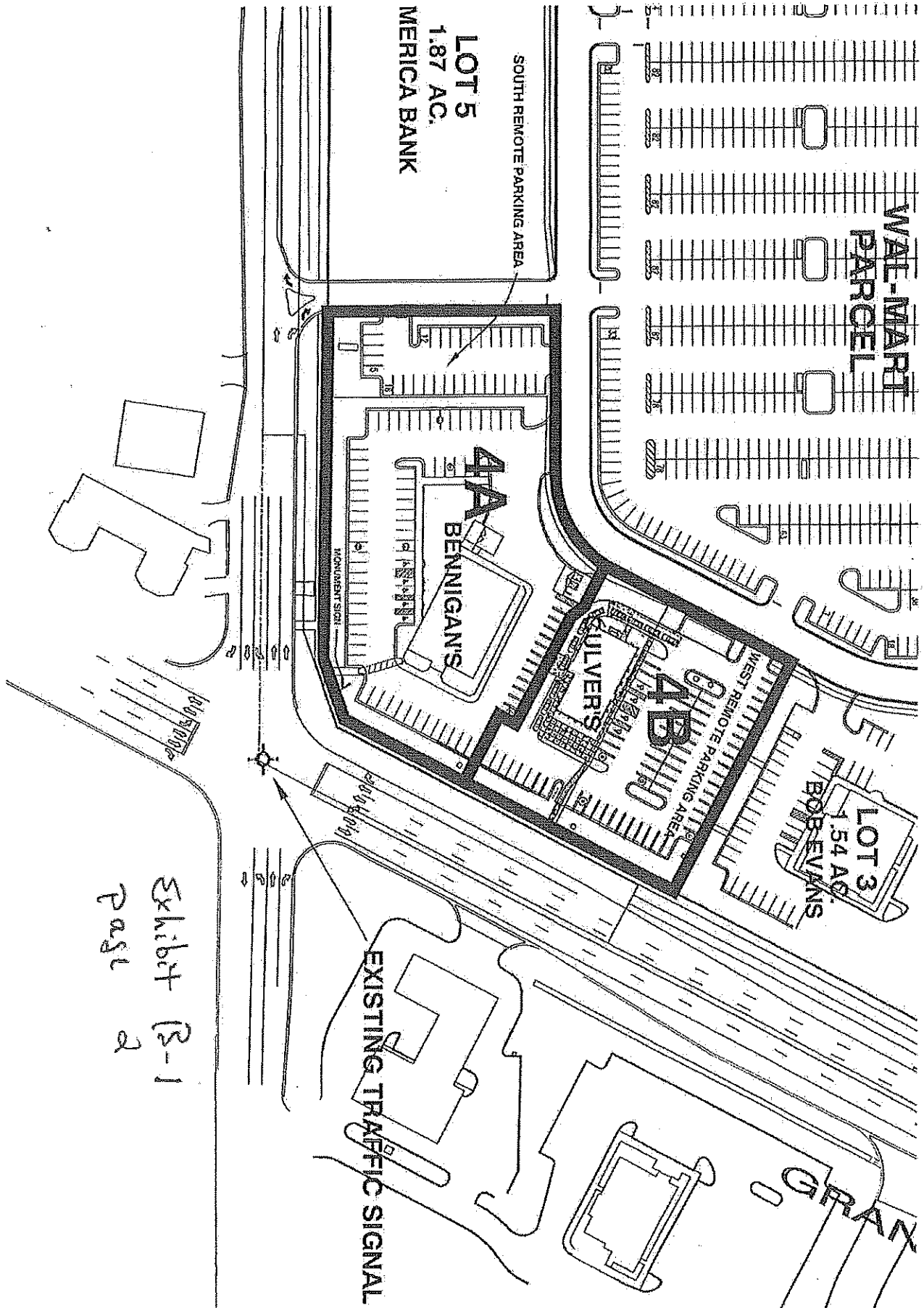


Exhibit B-1
Page 2

MANCUSO & CAMERON, P.C.

ATTORNEYS AND COUNSELORS

FRANK J. MANCUSO, JR.**DOUGLAS D. CAMERON**

Sent via facsimile to 810-227-3420

December 1, 2011

Ms. Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Culver's

Dear Ms. VanMarter,

Based upon our review of the Planning Commission Minutes for November 14, 2011, the existing PUD agreement dated April 6, 1999, the proposed Amendment to that agreement, and the License for Reconfiguration and Maintenance of Parking Areas, we make the following recommendations:

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT:

- 1) A new section 1 has been added to the Amendment which provides "Randall L. Gunlock, Glen C. Gunlock, Owner, and the Township agree that the interest of the designated Owner in the Planned Unit Development Agreement between Randall L. Gunlock and Glenn C. Gunlock and Township of Genoa dated April 6, 1999 and recorded in Liber 2609, page 0205, Livingston County, Michigan Records is assigned and transferred to RLG Howell LLC, a Michigan limited liability company and GCG Howell, LLC, a Michigan limited liability company."

This recommendation is made because the original PUD agreement was executed by Randall Gunlock and Glenn Gunlock individually and Article IX, 9.1 provides that the Agreement may not be amended without the prior written consent of the parties to the agreement. Therefore, the Gunlocks, in their individual capacities, should be added as parties to the Amendment in the first paragraph and added as signatories in their individual capacities. Sections following the new Section 1 should be renumbered;

- 2) The second sentence of the proposed amendment dealing with Article 7 as set forth in former Section 4 which contains the word "acknowledge" has been deleted in its entirety and replaced with this language:

"Due to the reconfiguration of the intersection of Latson Road and Grand River Avenue, the Owner requests that Lot 4A be permitted 2 monument signs, the

Ms. Kelly VanMarter
Genoa Township
December 1, 2011
Page -2-

location of which must be approved by the Township. Subject to such approval of sign location, the Township approves Owner's request."

- 3) A new section 6 has been added as follows:

"This Amendment applies only to the Phase I PUD and shall be recorded in the office of the Register of Deeds for Livingston County, Michigan."

- 4) A new Section 7 has been added follows:

"All other terms and provisions of the Phase I PUD, except as specifically amended and modified herein, shall remain in full force and effect."

LICENSE FOR RECONFIGURATION AND MAINTENANCE
OF PARKING AREAS

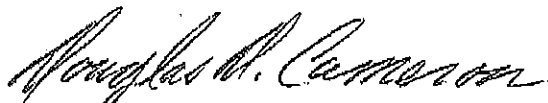
- 1) The Parking Areas license should be recorded after the Exhibit mistakes that we discussed are corrected or, if already recorded, then re-recorded after corrections are made.

A redlined version of the Amendment has been e-mailed to you under separate cover.

If you have any questions, please feel free to contact our office.

Sincerely,

MANCUSO & CAMERON, PC



Douglas B. Cameron

DDC/kdl

COVER SHEET FOR
AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT

BETWEEN

RLG HOWELL LLC, ~~AND~~ GCG HOWELL LLC,
RANDALL GUNLOCK AND GLENN GUNLOCK

AND

TOWNSHIP OF GENOA

DATED _____, 2011

Prepared By and After Recording
Return To:

April Ann Jordan
Hedrick & Jordan Co., LPA
124 E. Third Street, Suite 300
Dayton, Ohio 45402
937-228-3889

**STATE OF MICHIGAN
COUNTY OF LIVINGSTON
TOWNSHIP OF GENOA**

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT

This Amendment to Planned Unit Development Agreement is made and entered into this ____ day of _____, 2011, by RLG HOWELL LLC, a Michigan limited liability company, and GCG HOWELL LLC, a Michigan limited liability company, both of 10050 Innovation Drive, Suite 100, Dayton, Ohio 45342 (collectively, "Owner") and GENOA CHARTER TOWNSHIP, a Michigan municipal corporation, 2911 Dorr Road, Brighton, Michigan 48116 ("Township").

RECITATIONS:

Owner possesses fee title to certain real property located in Genoa Charter Township, Livingston County, State of Michigan, described in that certain Planned Unit Development Agreement dated April 6, 1999, and recorded at Liber 2609, Page 0205 of the records of Livingston County, Michigan (the "Phase I PUD").

Subsequent to the Phase I PUD, Owner and Township entered into that certain Planned Unit Development Agreement for Phase II Land dated August 17, 2009, and recorded at 200R-023916 of the records of Livingston County, Michigan (the "Phase II PUD"). The Phase I PUD applied to Phase I and Phase II land described therein, and the Phase II PUD Agreement modified provisions pertaining to Phase II

The Phase I PUD required parking for the "Wal-Mart Parcel as shown on Exhibit A-1 that included two (2) remote parking areas, one located between Lot 3 and Lot 4, and one located between Lot 4 and Lot 5, both as depicted on therein (the "Remote Parking Areas"). The Remote Parking Areas are presently subject to cross easements for parking pursuant the Declaration of Restrictions and Easements for Outlots recorded at Liber 2652, page 0082 of the records of Livingston County, Michigan. Township and Owner agree that the Remote Parking Areas have not regularly been used for the parking of vehicles for customers of Wal-Mart, and that the Remote Parking Areas would better serve Lot 4.

Owner desires to reconfigure Lot 4 described on Exhibit A-1 attached hereto to create two sub-parcels for the purposes of the PUD (but not parcels for conveyance purposes unless and until all applicable subdivision requirements are met), to be known as Sub-lot 4A and Sub-lot 4B, depicted on Exhibit B-2 attached hereto, which would utilize the Remote Parking Areas. The Township has agreed to amend the Phase I PUD to provide for such reconfiguration subject to the Phase I PUD, and pursuant to the terms and conditions contained herein.

NOW, THEREFORE, Owner and Township, in consideration of the mutual promises contained in this Agreement, hereby agree that the Phase I PUD Agreement shall be amended as follows:

1. Randall L. Gunlock, Glenn C. Gunlock, Owner, and the Township agree that the interest of the designated Owner in the Planned Unit Development Agreement between Randall L. Gunlock and Glenn C. Gunlock and Township of Genoa dated April 6, 1999 and recorded in Liber 2609, page 0205, Livingston County, Michigan Records is assigned and transferred to RLG Howell LLC, a Michigan limited liability company and GCG Howell, LLC, a Michigan limited liability company.

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2. Article 1, General Terms of Agreement, subsection 1.5, shall be amended to add the following additional paragraph D:

D. The configuration of Lot 4 shall hereby be modified to divide Lot 4 into two (2) separate parcels for all purposes under the Phase I PUD (but not for conveyance purposes), which shall be known as Sub-lot 4A and Sub-lot 4B respectively, and depicted on Exhibit B-2 attached hereto. The Township hereby agrees that the parking spaces contained in the Remote Parking Areas may be counted as parking spaces for the use of Sub-lot 4A and Sub-lot 4B via the existing cross-easement agreement. Owner understands that Sub-lots 4A and 4B shall remain subject to the terms of the Phase I PUD except as otherwise set forth herein. Owner reserves the right to configure Sub-lots 4A and 4B further to include the Remote Parking Areas adjacent to said Lots subject to Township review and approval.

3. Article 2, Land Use Authorization, subsection 2.1, shall be amended to delete the sentence reading "Further, only one drive through restaurant facility shall be permitted and such use shall only be permitted on Lot #1." The following shall be placed in its stead:

Drive through restaurant facilities may be allowed on Sub-lot 4B within five hundred feet (500') of another drive through restaurant facility, subject to the approval of the Township. Additional drive through restaurant facilities may be allowed on all parcels within five hundred feet (500') of each other, subject to Special Land Use approval by the Township, including the Special Use Requirements as outlined in the Special Land Use Regulations as they may exist from time to time. The Township and Owner agree that this use shall be considered upon providing that the stacking or queuing of such drive through restaurant facilities shall be sufficient to accommodate expected peak volumes and to minimize conflict with the internal road network located on the Property as well as any public roadways.

4. Article 6, Site Improvements, subsection 6.5h., shall be amended to add the following:

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Notwithstanding anything contained in the Phase I PUD to the contrary, the Parking ratio applicable to the Wal-Mart Parcel shall be four (4) parking space per one thousand

(1,000) square feet of gross floor area located on the Wal-Mart Parcel. The parking lot configuration sizes and quantities of stalls for the Wal-Mart Parcel, Sub-lot 4A and Sub-lot 4B shall be as shown on the revised site plan attached hereto as Exhibit ~~B-2~~ B-1, Page 2. Without limiting the generality of the foregoing, it is agreed that because the main parking area on the Wal-Mart Parcel is sufficient to meet the standards independent of the Remote Parking Areas, the Remote Parking Areas are not required for the operation of the Wal-Mart Parcel and instead parking stalls contained therein shall be counted to meet any parking requirements on Sub-lot 4A and Sub-lot 4B as hereby reconfigured. Provided, however, any reconfiguration of the legal parcels shall be subject to further review approval of the Township.

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54. Article 7, Design of Building and Signs, subsection 7.2, Signage, shall be amended to add the following additional sentence:

Sublot 4A and Sub-lot 4B shall be treated as separate parcels for purposes of the PUD (but not for conveyance purposes), and as such Sub-lot 4A and Sub-lot 4B shall each be entitled to separate signage as described herein. ~~Provided however, the parties acknowledge that Sub-lot 4A (presently occupied by Bennigan's) shall be entitled to two (2) monument signs as a result of the reconfiguration of the intersection of Latson Road and Grand River Avenue. The additional free standing sign for Sub-lot 4B shall not diminish the right to two (2) monument signs for Sub-lot 4A. Additionally, any electronic message signs in the Development shall be subject to the requirements of the Township Zoning Ordinance. Due to the reconfiguration of the intersection of Latson Road and Grand River Avenue, the Owner requests that Lot 4A be permitted 2 monument signs, the location of which must be approved by the Township. Subject to such approval of sign location, the Township approves Owner's request. The additional free standing sign for Sub-lot 4B shall not diminish the right to two (2) monument signs for Sub-lot 4A. Additionally, any electronic message signs in the Developmetn shall be subject to the requirements of the Township Zoning Ordinance.~~

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6. This Amendment applies only to the Phase I PUD and shall be recorded in the office of the Register of Deeds for Livingston County, Michigan.

7. All other terms and provisions of the Phase I PUD, except as specifically amended and modified herein, shall remain in full force and effect.

APPROVED by Owner on this ___ day of _____, 2011.

WITNESSES:

RLG HOWELL LLC, a Michigan limited liability company

By: Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated September 18, 2000, Randall L. Gunlock, Grantor, Managing Member

By: Randall L. Gunlock
Its: Trustee

GCG HOWELL LLC, a Michigan limited liability company

By: Glenn C. Gunlock
Its: Managing Member

STATE OF _____)
_____) SS:
COUNTY OF _____)

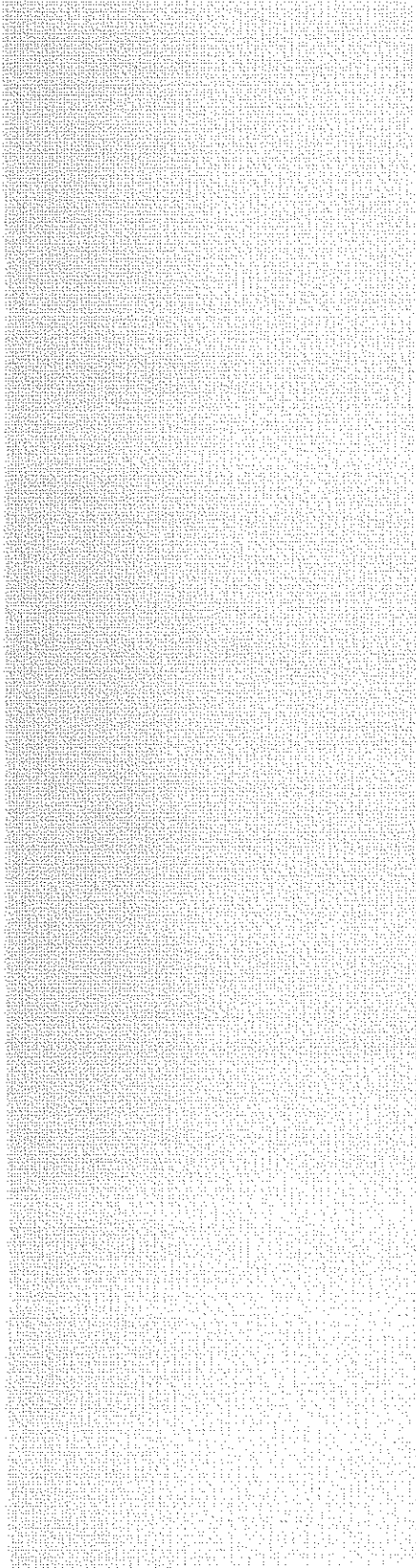
The foregoing instrument was acknowledged before me the _____ day of _____, 2011, by Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated September 18, 2000, Randall L. Gunlock, Grantor, Managing Member of RLG Howell LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

STATE OF _____)
_____) SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me the _____ day of _____, 2011, by Glenn C. Gunlock, Managing Member of GCG Howell LLC, a Michigan limited liability company, on behalf of the company.

Notary Public



STATE OF _____)
_____) SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated September 18, 2000, Randall L. Gunlock, Grantor, Managing Member of RLG Howell LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

STATE OF _____)
_____) SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by Glenn C. Gunlock, Managing Member of GCG Howell LLC, a Michigan limited liability company, on behalf of the company.

Notary Public

By: Randall L. Gunlock

By: Glenn C. Gunlock

STATE OF _____)
_____) SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me the ____ day of _____, 2011, by Randall L. Gunlock

Notary Public

STATE OF _____)
_____) SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me the _____ day of _____, 2011, by Glenn C. Gunlock.

Notary Public

APPROVED by the Township Board for the Township of Genoa on the ___ day of _____, 2011, at a meeting duly called and held.

WITNESSES:

TOWNSHIP OF GENOA:

By:
Its:

By:
Its:

STATE OF)
) SS:
COUNTY OF)

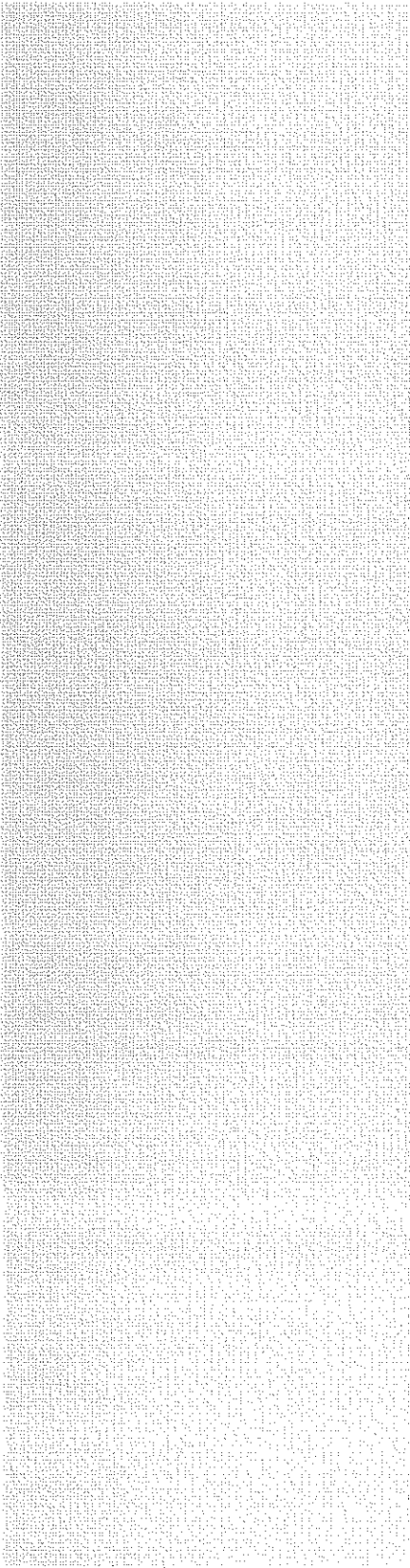
The foregoing instrument was acknowledged before me the ___ day of _____, 2011, by _____, who was duly authorized by the Genoa Township Board to sign this Amendment on behalf of Genoa Township and who acknowledged the same to be his/her free act and deed.

Notary Public

STATE OF)
) SS:
COUNTY OF)

The foregoing instrument was acknowledged before me the ___ day of _____, 2011, by _____, who was duly authorized by the Genoa Township Board to sign this Amendment on behalf of Genoa Township and who acknowledged the same to be his/her free act and deed.

Notary Public



EXHIBITS

Exhibit A-1 Lot 4 legal description
Exhibit A-2 Existing Conditions PUD Site Plan
Exhibit B-1 Amended PUD Site Plan
 --Revised Parking
 -- Sub-Lot 4A and Lot 4B

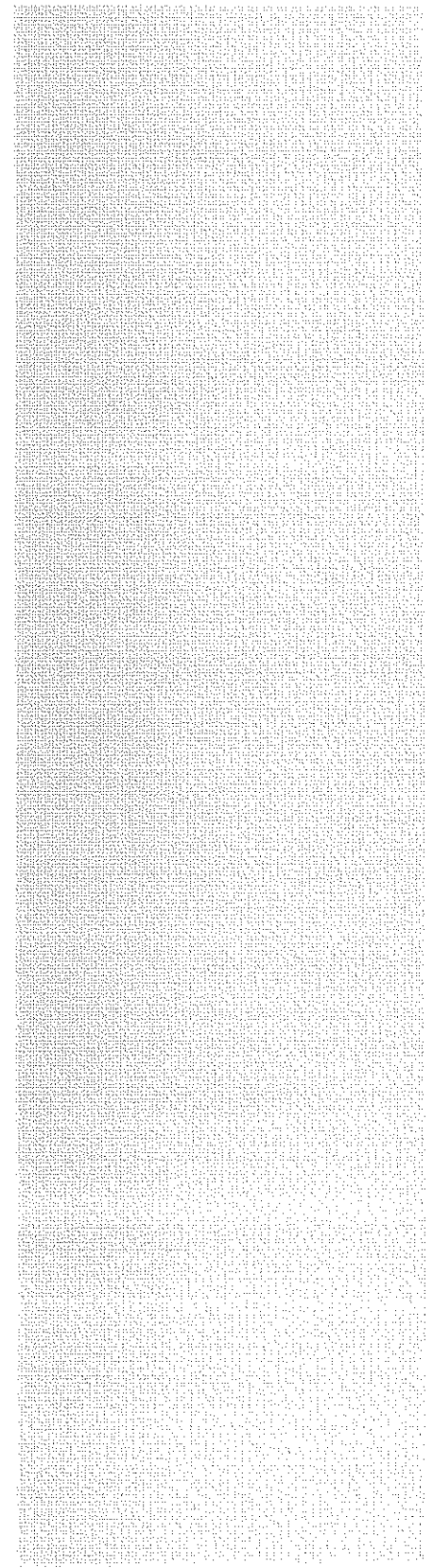


EXHIBIT A-1

Lot 4
11-05-400-047

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;
Thence South 87 degrees 37 minutes 12 seconds West along the South line of said section, 60.02 feet
to the westerly right-of-way line of Latson Road;
Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 214.95 feet to the Point of Beginning;

Thence South 88 degrees 27 minutes 00 seconds West, 213.08 feet;
Thence North 01 degrees 33 minutes 24 seconds West, 71.01 feet to a tangential curve to the left;
Thence northwesterly along said curve, R = 102.00, delta = 62 degrees 27 minutes 31 seconds, a distance of 111.19 feet;
Thence North 64 degrees 00 minutes 14 seconds West, 59.21 feet;
Thence North 25 degrees 59 minutes 46 seconds East, 236.98 feet to a point on the southerly right-of-way line of Grand River Road;
Thence South 63 degrees 57 minutes 17 seconds East, along said right-of-way, 233.50 feet to a point on the westerly right-of-way line of Latson Road;
Thence South 20 degrees 31 minutes 52 seconds East, along said right-of-way line, 21.17 feet;
Thence South 00 degrees 54 minutes 40 seconds East, along said right-of-way line, 270.73 feet to the Point of Beginning.

Said parcel contains 2.03 acres, more or less.

The intent of this description is to run along the back of curb along a proposed access drive where applicable.

This parcel description is one of twelve parcels that collectively make up parcels 1 and 2 as described in the Alta Survey, dated September 23, 1998, with no gaps or gores.

I-96

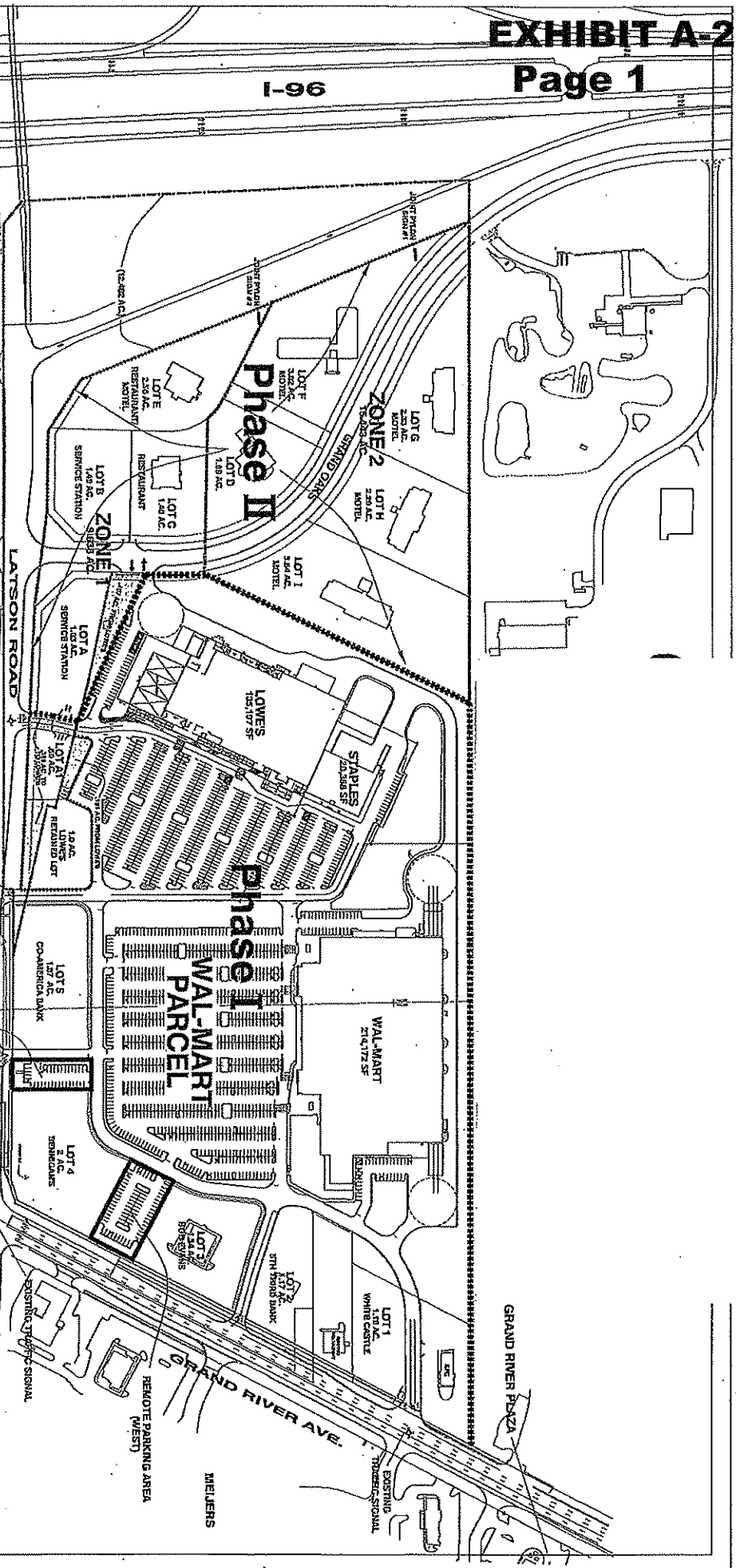


Exhibit A-2
Page 1



RG Properties
 8188 OLD YANKEE ROAD, SUITE B
 DAYTON, OHIO 45458
 TEL 937/434-7218
 FAX 937/434-0824

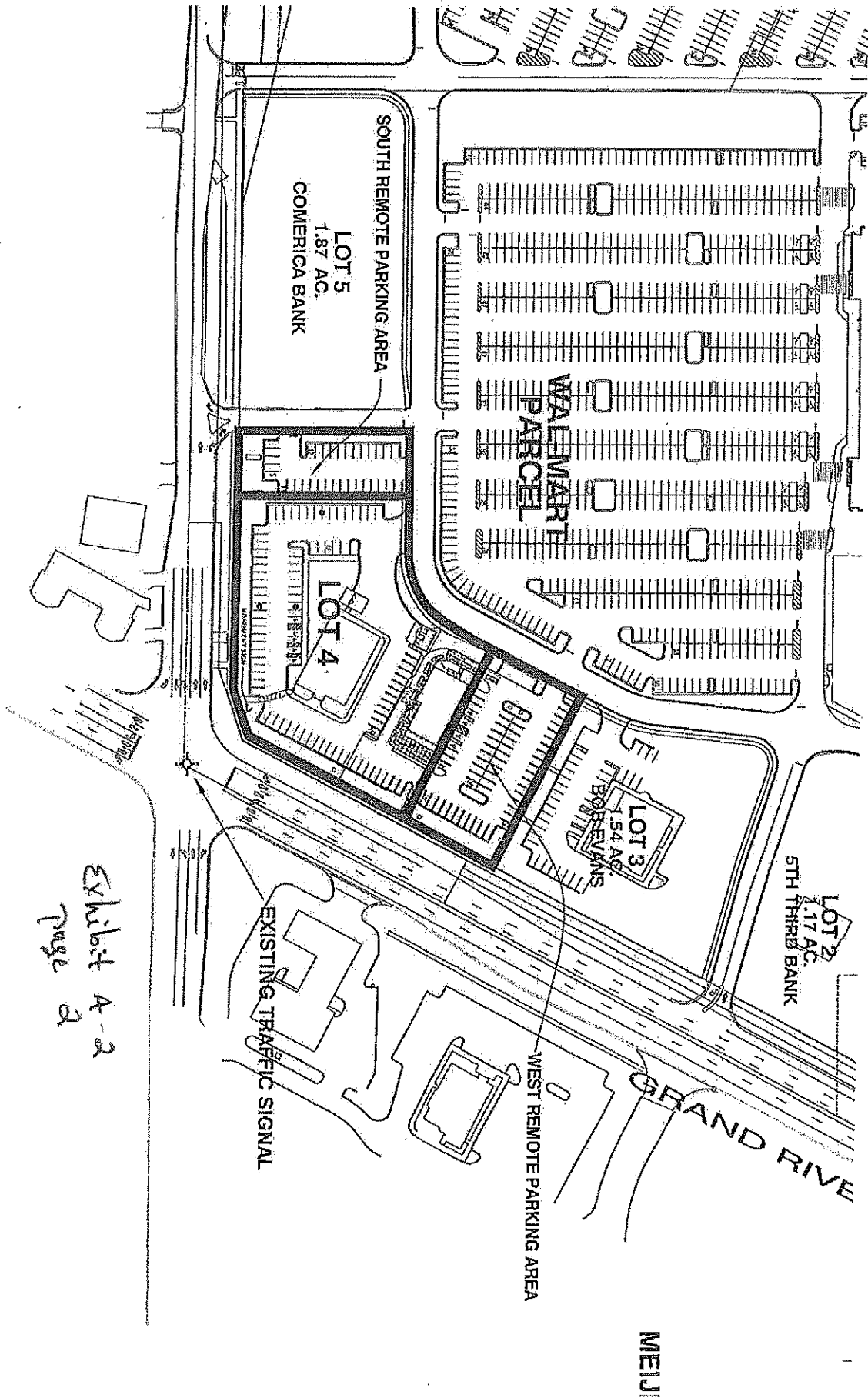
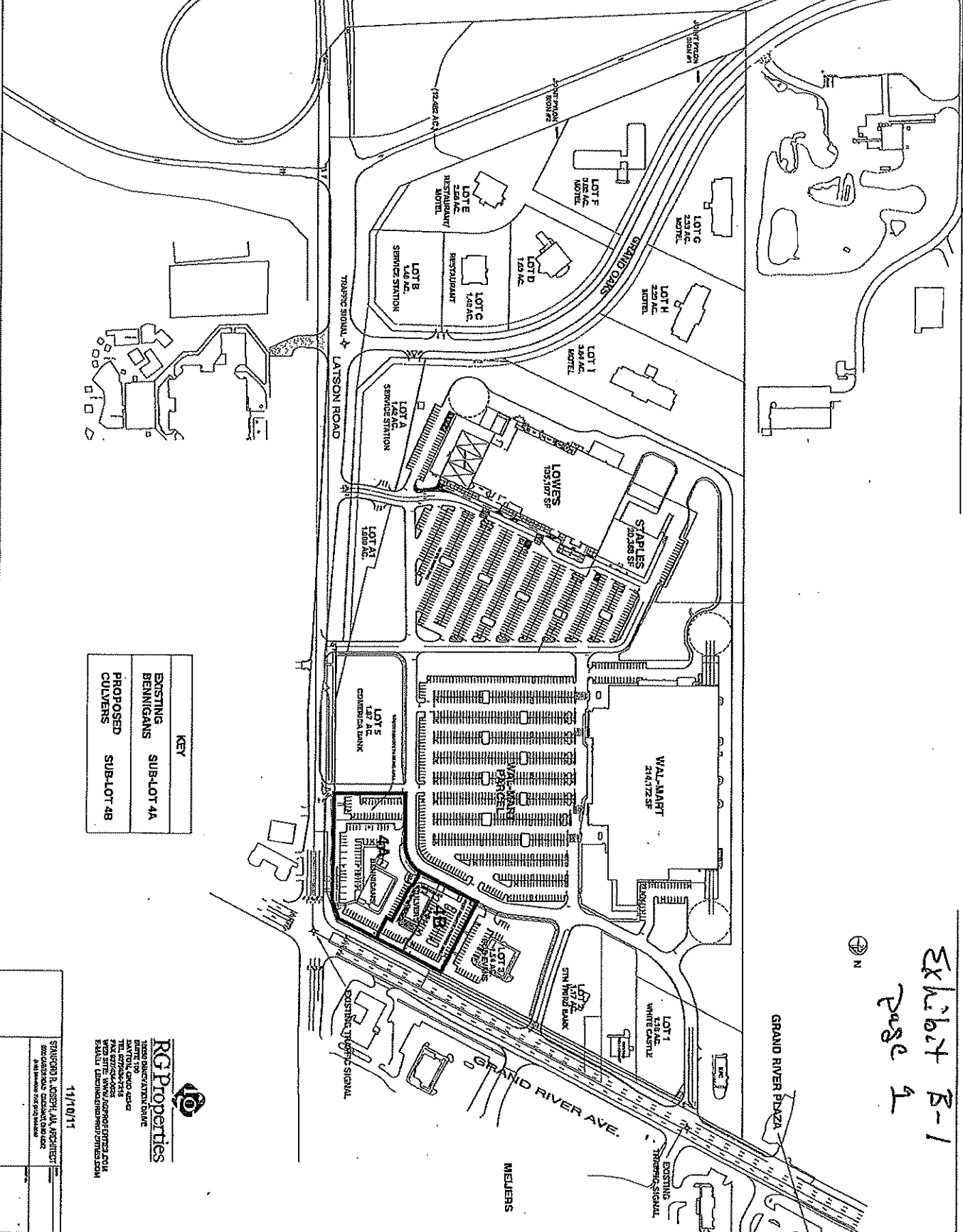


Exhibit A-2
Page 2

I-96



KEY	
EXISTING BENNINGGANS	SUB-LOT 4A
PROPOSED CULVERS	SUB-LOT 4B



Sketch B-1
Page 1

RG Properties
 1800 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33311
 (954) 547-1111
 www.rgproperties.com

11/10/11

STANFORD B. JOSEPH, AIA, ARCHITECT
 2000 CANTON ROAD, SUITE 200
 FT. LAUDERDALE, FL 33305
 (954) 476-1111
 www.stanfordbjo.com

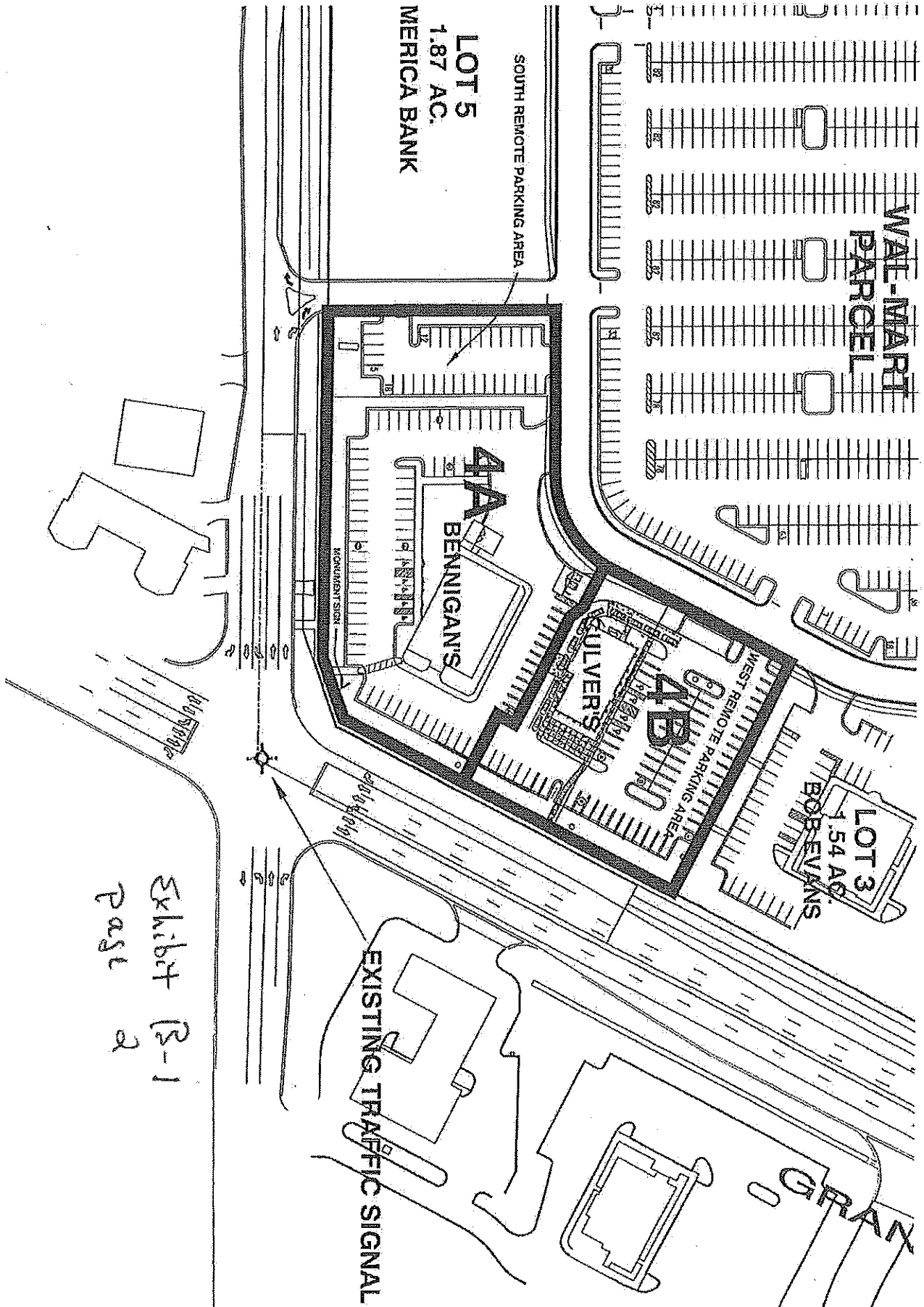


Exhibit B-1
Page 2

8. **Access Easements for Outlots.** Declarant hereby grants to the Owners and permittees of each Outlot a perpetual, nonexclusive easement for vehicular and pedestrian access, ingress and egress over and across those areas designated as "Access Drive" on Exhibit E and more particularly described on attached Exhibit G to travel to and from each Outlot and the public roadways adjoining the Shopping Center. The grant of the foregoing easements over that part of the Common Areas identified as the Access Drive shall be perpetual and nonexclusive; provided that the Owners of the Tract upon which such Access Drive is located shall have the right to relocate such portion of the Access Drive as is located on their respective Tract from time to time during the term of this Agreement in accordance with the terms hereof and after the term hereof as each party may reasonably desire; provided, however, that (i) in no event shall such Access Drive be less than thirty feet (30') in width; (ii) in no event shall a curb cut connecting an Access Drive to a public roadway be relocated without the consent of the Owners of the Tracts and of any Outlot affected thereby; (iii) such Access Drive shall at all times provide access to such curb cuts in a manner not materially more burdensome than that provided by the Access Drive as now existing or as shown on Exhibit E (in the event of any dispute with respect to this clause, the Owners shall, within ten [10] days after one Owner objects to such relocation, submit drawings of the proposed relocation to the then president of the Michigan chapter of the Institute of Transportation Engineers, or if such organization is not existing, then the president of such other similar organization as may be existing at such time, and such president shall approve a certified traffic consultant to determine whether such relocation is more burdensome, which determination shall be made within thirty [30] days of submission to such traffic consultant and which determination shall be final, nonappealable and binding); and (iv) each of the Owners benefiting from such Access Drive shall benefit from an insurable, nonexclusive, perpetual easement over such portion of the Access Drive.

9. **Parking Easement for Outlots.** Notwithstanding anything herein to contrary, Declarant, as grantor, hereby grants to the Owner(s) of the Outlots, as grantees, and their customers, invitees, agents, licensees, tenants, subtenants and employees of the respective businesses being conducted on the Outlots a permanent, non-exclusive easement for the customer parking of motor vehicles on the areas of the Wal-Mart Parcel designated as the "North Parking Area" and the "East Parking Area" as shown on Exhibit E, which parking rights are intended to be used for "overflow" parking by customers of the Outlots and are not to be used for employee parking by the businesses being conducted on the Outlots. Without the prior written consent of the Owner(s) of the Outlot, no Building(s) may be constructed in the North Parking Area or the East Parking Area during the term of this Declaration.

10. **Maintenance by Declarant.** Declarant shall maintain, or cause to maintain by its lessees pursuant to separate agreement, the Property Used in Common, the Access Drive, the North Parking Area and the East Parking Area.

Declarant reserves to itself and other owners or occupants of the Shopping Center perpetual easements for reasonable access over and across such areas of the surface of each Outlot adjacent to the Access Drive as reasonably necessary for the purposes of installation, maintenance and repair of the Access Drives. Declarant and other owners or occupants of the Shopping Center shall indemnify and hold harmless the Owner and occupants of the Outlots from any damage to property or person resulting from the exercise of such reserved rights. Such access shall be during normal business hours with 24-hours' advance notice to the affected Owner of such access. Access during times of an emergency as determined by the Declarant or other owners or occupants of the Shopping Center may be at any time and shall not require advance notice.

11. **Grant of Access Easements to Latson Road.** Declarant, as grantor, hereby grants to the Owner(s) of the Outlots, as grantees, and to the agents, customers, invitees, tenants, subtenants and employees of grantees non-exclusive easements for vehicular and pedestrian access, ingress and egress over and across those areas designated as "Temporary Access Driveway #1" and "Temporary Driveway #2", respectively, on Exhibit E and located on the Excess Land in the area lying between the current easternmost terminus of the Access Drive on Tract 2 and Latson Road in the case of said Temporary Access Driveway #1, and in the area lying between the current easternmost terminus of the driveway in front of the Building on Tract 2 and Latson Road in the case of the Temporary Access Driveway #2. The grant of these easements is intended to permit travel to, from and over

LICENSE FOR RECONFIGURATION AND MAINTENANCE OF PARKING AREAS

This License for Reconfiguration and Maintenance of Parking Areas is made this 25 day of August, 2011, by and between **RLG HOWELL LLC**, a Michigan limited liability company, and **GCG HOWELL LLC**, a Michigan limited liability company (collectively, "Outparcel Owner") and **WAL-MART REAL ESTATE BUSINESS TRUST**, a Delaware business trust ("Wal-Mart").

RECITALS

A. Outparcel Owner owns certain real property located in Genoa Township, Livingston County, Michigan, containing approximately 2.0 acres and described on Exhibit A attached hereto (the "Outparcel") and depicted on Exhibit B attached hereto (the "Site Plan").

B. The Outparcel Owner's related entity, Livingston Commons Associates, LLC is the owner of certain adjacent real property containing approximately 22.95 acres and described more particularly on Exhibit C attached hereto, which property is leased to Wal-Mart (the "Wal-Mart Parcel"). The Wal-Mart Parcel and the Outparcel are part of a development commonly known as Livingston Commons (the "Shopping Center").

C. The Wal-Mart Parcel contains two remote parking areas depicted on Exhibit D attached hereto (the "South Remote Parking Area" and the "West Remote Parking Area", respectively, and collectively referred to as the "Remote Parking Areas").

D. The parties acknowledge that the Remote Parking Areas are seldom, if ever used by Wal-Mart, and its customers and invitees.

E. The Remote Parking Areas are subject to the Declaration of Restrictions and Easements for Outlots dated July 30, 1999, recorded September 10, 1999, at Liber 2652, page 82 of the records of Livingston County, Michigan (the "Declaration"), which, among other provisions, establishes parking easements on the Remote Parking Areas for the benefit of the Outparcel and other outparcels of the Shopping Center.

E. The Wal-Mart Parcel is subject to an existing mortgage in favor of New York Life Insurance Company, which prohibits the removal of the Remote Parking Areas from the Wal-Mart Parcel.

F. If Outparcel Owner obtains all necessary approvals ("Approvals"), Outparcel Owner may construct additional improvements on the Outparcel in compliance with the Declaration, and in such event the reconfiguration of the Remote Parking Areas would be beneficial to the operation of the Outparcel.

G. Outparcel Owner and Wal-Mart have agreed that in the event Outparcel Owner obtains such Approvals and reconfigures the Remote Parking Areas, then Outparcel Owner may enter

into the Remote Parking Areas for the purpose of reconfiguring and further maintaining the Remote Parking Areas, all pursuant to the terms and conditions contained herein.

AGREEMENT

NOW, THEREFORE, in consideration of their mutual covenants and promises, Outparcel Owner and Wal-Mart hereby agree as follows:

1. Effective Date; License. The rights and obligations set forth herein shall be effective only upon the commencement by Outparcel Owner of the reconfiguration of the Remote Parking Areas (the "Effective Date"). Commencing on the Effective Date Wal-Mart hereby grants Outparcel Owner, its successor in title to the Outparcel, and holders of leasehold interests in the Outparcel a perpetual license to enter into the Remote Parking Areas for the purposes of reconfiguring parking stalls, curbs, and drive aisles contained thereon in accordance with the plans attached as Exhibit D hereto (the "Reconfiguration Plans") and for the purpose of maintaining the Remote Parking Areas as set forth herein. Wal-Mart hereby approves the Reconfiguration Plans. Wal-Mart shall have the right to consent to any material modification to the Reconfiguration Plans.

2. Maintenance. As consideration for the agreements contained herein, commencing on the Effective Date Outparcel Owner shall maintain the Remote Parking Areas in good condition and repair pursuant to the provisions of the Declaration. Additionally, Outparcel Owner shall re-wire the existing lights within the Remote Parking Areas to be under the control of and metered to Outparcel Owner. Outparcel Owner may fulfill its obligations hereunder by causing a tenant of the Outparcel or a portion thereof to undertake such obligations. Provided however, Developer shall be responsible for the enforcement of all such obligations and shall remain liable to Wal-Mart for the performance thereof.

Developer shall at all times maintain not less than sixty (60) parking spaces on the South Remote Parking Area and not less than twenty four (24) parking spaces on the West Remote Parking Area.

3. Real Estate Taxes. Commencing on the Effective Date, Outparcel Owner agrees to pay annually an amount equal to one-half (1/2) of the real estate taxes attributable to the land value only of the Remote Parking Areas determined as set forth herein. Land value shall mean the value as determined by the records of the Assessor of Livingston County, Michigan. Real estate taxes attributable to the land value of the Wal-Mart tax parcel shall be a fraction of the total real estate taxes, the numerator of which is the land value only, and the denominator of which is the total value of land and improvements. The real estate taxes attributable to the Remote Parking Areas shall be a fraction of the taxes attributable to the land value of the Wal-Mart Parcel, the numerator of which is the acreage of the Remote Parking Areas (1.08 acres) and the denominator of which is the total acreage of the Wal-Mart Parcel (22.95 acres), or 4.72%. Outparcel Owner's share of real estate taxes due hereunder shall be paid by Outparcel Owner to Wal-Mart annually within thirty (30) days of billing for same by Wal-Mart.

By way of example and without limitation, if the Outparcel Owner's share of real estate taxes for tax year 2010 were being determined pursuant to the tax bill attached hereto as Exhibit E, then the calculation would be as follows:

Total tax value of Wal-Mart Parcel (land and improvements)	\$6,717,900.00
Land value of Wal-Mart Parcel (shown under "Land Information").	\$4,498,600.00
Total real estate taxes on Wal-Mart Parcel	\$281,705.43
Real estate taxes attributable to land value of Wal-Mart Parcel-- 67% of the total taxes (\$4,498,600 divided by \$6,717,900)	\$188,742.63
Real estate taxes attributable to land value of the Remote Parking Areas (4.72%--1.08 acres divided by 22.95 acres)	\$8,908.65
	X 1/2
	<hr/> \$4,454.33

4. Existing Declaration. Nothing contained herein shall be deemed to amend or modify the Declaration, including without limitation any existing restrictions or easement rights thereunder. This Agreement shall be in addition to and not in replacement of any rights, obligations or agreements under the Declaration. Wal-Mart agrees that the parking spaces contained within the Remote Parking will be counted for the benefit of the Outparcel in the calculation of the parking ratio requirements pursuant to the Declaration.

5. Default. If Outparcel Owner defaults in its obligations hereunder, including without limitation, its obligation to pay its portion of real estate taxes as set forth herein, and such default is not cured within thirty (30) days after written notice from Wal-Mart to Outparcel Owner, then Outparcel Owner's rights under this Agreement may be terminated by written notice from Wal-Mart to Outparcel Owner.

6. Notices. Any and all notices required hereunder shall be deemed to be properly served if delivered in writing personally, or sent by certified mail with return receipt requested, to Wal-Mart or Outparcel Owner at the address below or to any subsequent address which Wal-Mart or Outparcel Owner may designate in writing for such purpose. Date of service of a notice served by mail shall be the date on which such notice is deposited in a Post Office of the United States Postal Service, while notice served by personal delivery or by facsimile shall be effective upon receipt.

Wal-Mart: Wal-Mart Real Estate Business Trust
702 SW Eighth Street
Bentonville, Arkansas 72716

Outparcel Owner: RLG Howell LLC and GCG Howell LLC
Attn: Bo Gunlock
8163 Old Yankee Road
Dayton, OH 45458

7 Indemnity; Insurance. Outparcel Owner shall indemnify and hold Wal-Mart harmless from any loss, cost, claim or expense arising from or related to Outparcel Owner's exercise of its rights under this Agreement. This indemnity shall survive the termination of this Agreement. Outparcel Owner and any successor in title or holder of a leasehold interest the Outparcel shall carry liability insurance as required by the Declaration and shall provide Wal-Mart a certificate of such insurance evidencing that same is in force, including annual renewals thereof. Such certificate shall name Wal-Mart and Outparcel Owner (if applicable) as additional insureds and shall provide that same may not be cancelled without thirty (30) days prior written notice.

8. Miscellaneous. This Agreement may not be amended except by an agreement in writing signed by both parties. If either party files a lawsuit in connection with this Agreement, the party that prevails in such action shall be entitled to recover from the nonprevailing party, in addition to all other remedies or damages, reasonable attorneys' fees and costs of court incurred in such lawsuit. Time is of the essence with respect to every provision of this Agreement. No waiver by either party of any of its rights or remedies hereunder shall be effective unless such waiver is evidenced in a written instrument executed by the waiving party.

9. Binding Agreement. This Agreement shall be binding upon and inure to the benefit of Wal-Mart, Outparcel Owner, and their successors in leasehold interest in title respectively during the term of the Wal-Mart lease and any renewals thereof. Outparcel Owner may assign its rights hereunder to any successor in title or holder of a leasehold interest in the Outparcel.

The parties have set their hands as of the date and year first written.

OUTPARCEL OWNER: RLG HOWELL
LLC,
A Michigan liability company

By: Randall L. Gunlock, Trustee under the
Amended Revocable Trust Agreement
Dated September 18, 2000, Randall L.
Gunlock, Grantor, Managing Member

Randall L. Gunlock, Trustee

By: Randall L. Gunlock, Trustee
GCG HOWELL LLC,
A Michigan limited liability company

Glenn C. Gunlock

By: Glenn C. Gunlock
Its: Managing Member

WAL-MART: WAL-MART REAL
ESTATE BUSINESS TRUST,
a Delaware business trust

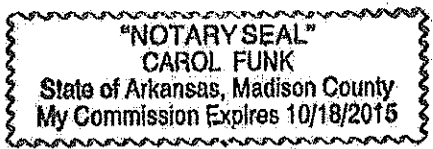
Barri Tulejoko

By: Barri Tulejoko
Its: Sr. Business Unit Mgr.

STATE OF Arkansas)
) SS:
COUNTY OF Benton)

The foregoing instrument was acknowledged before me the 25th day of August, 2011, by Randall L. Gunlock, Trustee under the Amended Revocable Trust Agreement Dated September 18, 2000, Randall L. Gunlock, Grantor, Managing Member of RLG Howell LLC, a Michigan limited liability company, on behalf of the company.

Carol Funk
Notary Public



EXHIBITS

- Exhibit A Outparcel Legal Description
- Exhibit B Site Plan
- Exhibit C Wal-Mart Parcel Legal Description
- Exhibit D Remote Parking Areas
 --South Remote Parking Area
 --West Remote Parking Area
- Exhibit E Reconfiguration Plans
- Exhibit F 2010 tax bill

EXHIBIT A

OUTPARCEL OWNER PARCEL

Lot 4
11-05-400-047

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan described as follows:

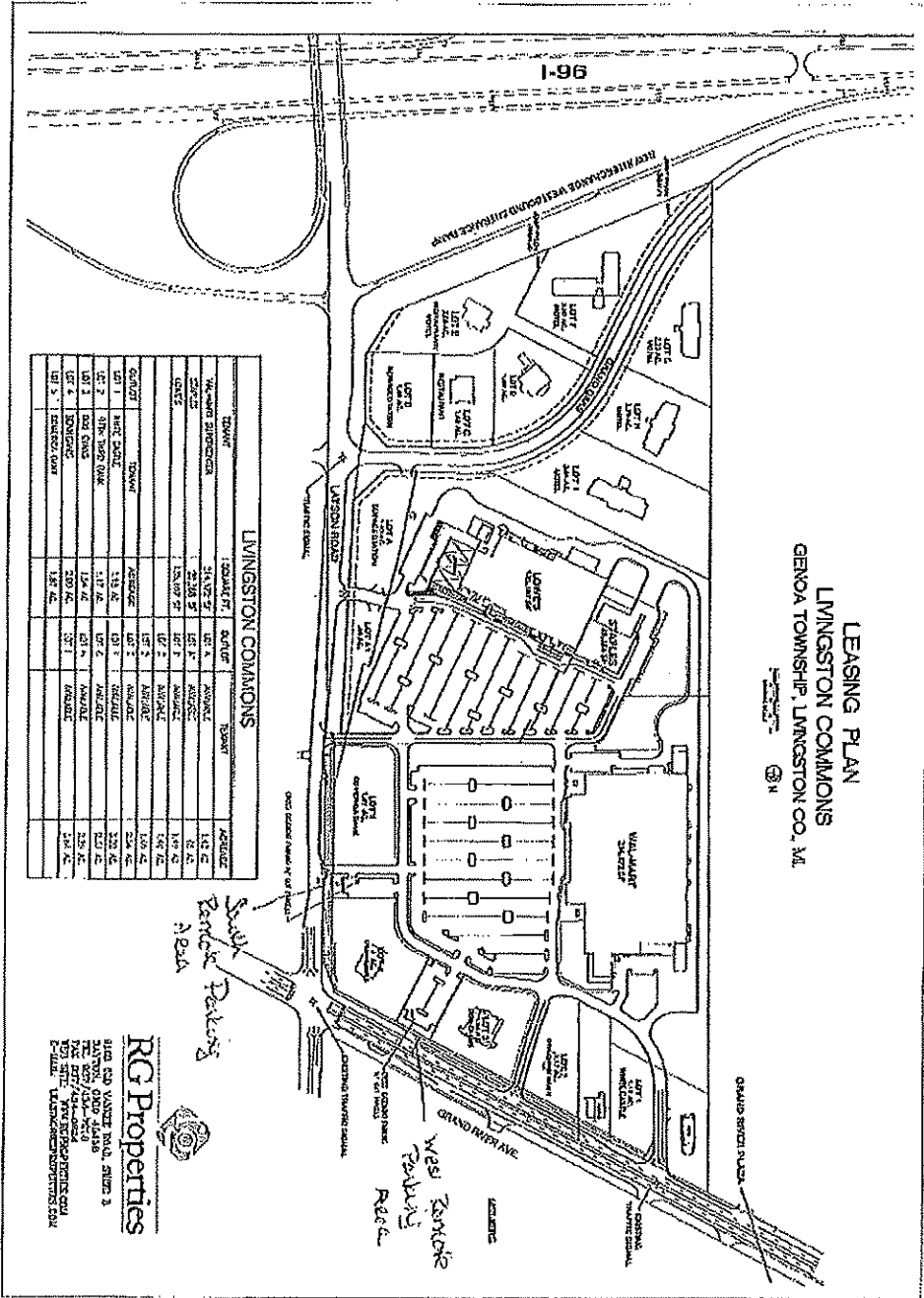
Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;
Thence South 87 degrees 37 minutes 12 seconds West along the South line of said section, 60.02 feet
to the westerly right-of-way line of Latson Road;
Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 214.95 feet to the Point of Beginning;

Thence South 88 degrees 27 minutes 00 seconds West, 213.08 feet;
Thence North 01 degrees 33 minutes 24 seconds West, 71.01 feet to a tangential curve to the left;
Thence northwesterly along said curve, $R = 102.00$, $\Delta = 62$ degrees 27 minutes 31 seconds, a distance of 111.19 feet;
Thence North 64 degrees 00 minutes 14 seconds West, 59.21 feet;
Thence North 25 degrees 59 minutes 46 seconds East, 236.98 feet to a point on the southerly right-of-way line of Grand River Road;
Thence South 63 degrees 57 minutes 17 seconds East, along said right-of-way, 233.50 feet to a point on the westerly right-of-way line of Latson Road;
Thence South 20 degrees 31 minutes 52 seconds East, along said right-of-way line, 21.17 feet;
Thence South 00 degrees 54 minutes 40 seconds, East, along said right-of-way line, 270.73 feet to the Point of Beginning.

Said parcel contains 2.03 acres, more or less.

EXHIBIT B

SITE PLAN



LEASING PLAN
 LIVINGSTON COMMONS
 GENOA TOWNSHIP, LIVINGSTON CO., MI

LIVINGSTON COMMONS			
ZONE	LOT	AREA	ACRES
GENERAL BUSINESS	LOT 1	24,172.2	1.42
	LOT 2	2,103.2	0.12
	LOT 3	12,017.2	0.68
	LOT 4	12,017.2	0.68
	LOT 5	12,017.2	0.68
OFFICE	LOT 6	12,017.2	0.68
	LOT 7	12,017.2	0.68
	LOT 8	12,017.2	0.68
	LOT 9	12,017.2	0.68
	LOT 10	12,017.2	0.68
RESIDENTIAL	LOT 11	12,017.2	0.68
	LOT 12	12,017.2	0.68
	LOT 13	12,017.2	0.68
	LOT 14	12,017.2	0.68
	LOT 15	12,017.2	0.68

RG Properties
 3110 CAD YANNEY ROAD, SUITE 2
 TROY, MI 48063
 TEL: 313/444-4444
 FAX: 313/444-4444
 WWW.RGPROPERTIES.COM

South Parking Area
West Parking Area
Grand Service Plaza
Grandview Ave

EXHIBIT C

WAL-MART PARCEL

Parcel of land situated in the Township of Genoa, County of Livingston, State of Michigan, described as follows:

Commencing at the Southeast corner of Section 5, Town 2 North, Range 5 East;
Thence South 87 degrees 37 minutes 12 seconds West, along the South line of said section, 60.02 feet to a point on the westerly right-of-way line of Latson Road;
Thence North 00 degrees 54 minutes 40 seconds West, along said right-of-way line, 106.85 feet; to the Point of Beginning:

Thence South 88 degrees 27 minutes 17 seconds West, 211.90 feet;
Thence South 01 degrees 32 minutes 43 seconds East, 109.91 feet to a point on the South line of said Section 5
Thence continuing South 01 degrees 32 minutes 43 seconds East, 242.09 feet to a tangential curve to the left;
Thence easterly along said curve, R=43.00 feet, delta=90 degrees 00 minutes 00 seconds, a distance of 67.54 feet;
Thence South 88 degrees 27 minutes 39 seconds West, 671.73 feet to a tangential curve to the left;
Thence southerly along said curve, R=58.00 feet, delta=65degrees 00 minutes 39 seconds, a distance of 65.81 feet;
Thence South 23 degrees 27 minutes 00 seconds West, 131.30 feet;
Thence South 88 degrees 27 minutes 39 seconds West, 282.84 feet;
Thence North 01 degrees 27 minutes 28 seconds West, 422.70 feet to a point on the South line of said Section 5;
Thence continuing North 01 degrees 37 minutes 12 seconds West, 867.93 feet;
Thence South 63 degrees 55 minutes 45 seconds East, 151.40 feet;
Thence North 01 degrees 41 minutes 57 seconds West, 320.72 feet to a point on the southerly right-of-way line of Grand River Road;
Thence South 63 degrees 56 minutes 04 seconds East, along said right-of-way line, 88.56 feet;
Thence South 30 degrees 38 minutes 19 seconds West, 65.36 feet;
Thence South 01 degrees 37 minutes 12 seconds West, 178.33 feet to a tangential curve to the left;
Thence easterly along said curve, R=250.00 feet, delta=62 degrees 01 minutes 29 seconds, a distance of 270.63 feet;
Thence South 63 degrees 38 minutes 39 seconds East, 11.65 feet;
Thence North 01 degrees 39 minutes 45 seconds West, 3.76 feet;
Thence South 63 degrees 57 minutes 17 seconds East, 120.00 feet;
Thence South 01 degrees 39 minutes 26 seconds East, 4.59 feet to a tangential curve to the left;
Thence easterly along said curve, R=112.50 feet, delta=39 degrees 03 minutes 45 seconds, a distance of 76.70 feet to a point of compound curvature;

EXHIBIT C PAGE TWO

Thence northerly along said curve, R=25.00 feet, delta=60 degrees 06 minutes 10 seconds, a distance of 26.22 feet;
Thence North 17 degrees 11 minutes 25 seconds East, 138.74 feet;
Thence North 14 degrees 23 minutes 42 seconds East, 156.54 feet to the southerly right-of-way of Grand River Road;
Thence South 63 degrees 57 minutes 17 seconds East, 34.72 feet along said right-of-way;
Thence South 14 degrees 23 minutes 42 seconds West, 150.27 feet;
Thence South 17 degrees 11 minutes 25 seconds West, 121.51 feet to a tangential curve to the left;
Thence easterly along said curve, R=33.0 feet, delta=102 degrees 39 minutes 01 seconds, a distance of 59.12 feet;
Thence South 85 degrees 27 minutes 35 seconds East, 116.92 feet to a tangential curve to the right;
Thence easterly along said curve, R=182.00 feet, delta=21 degrees 27 minutes 22 seconds, a distance of 68.16 feet;
Thence South 64 degrees 00 minutes 14 seconds East, 38.24 feet;
Thence North 25 degrees 59 minutes 46 seconds East, 237.29 feet to the southerly right-of-way of Grand River Road;
Thence South 63 degrees 57 minutes 17 seconds East, 126.00 feet along said right-of-way;
Thence South 25 degrees 59 minutes 46 seconds West, 236.98 feet;
Thence South 64 degrees 00 minutes 14 seconds East, 59.21 feet to a tangential curve to the right;
Thence southerly along said curve, R=102.00 feet, delta=62 degrees 27 minutes 31 seconds, a distance of 111.19 feet;
Thence South 01 degrees 33 minutes 24 seconds East, 71.01 feet;
Thence North 88 degrees 27 minutes 00 seconds East, 213.08 feet to the westerly right-of-way line of Latson road;
Thence South 00 degrees 54 minutes 40 seconds East, 108.10 feet along said right-of-way line to the Point of Beginning.

Said parcel contains 23.11 acres, more or less.

EXHIBIT D

REMOTE PARKING AREAS

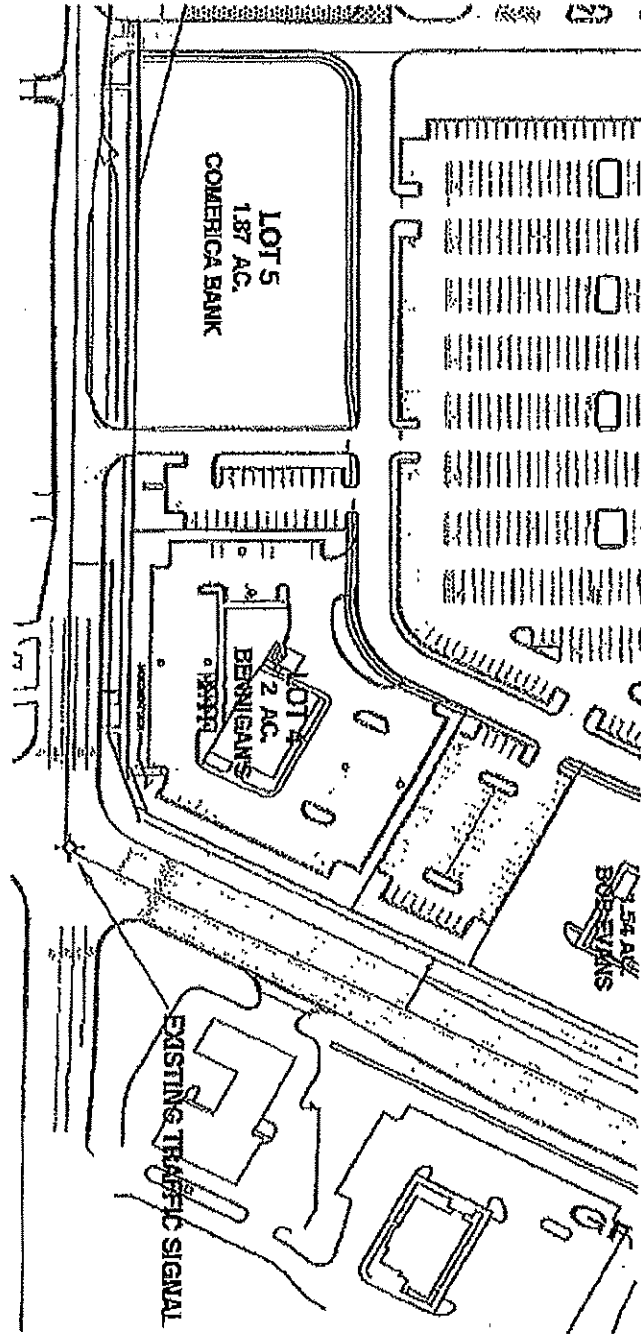
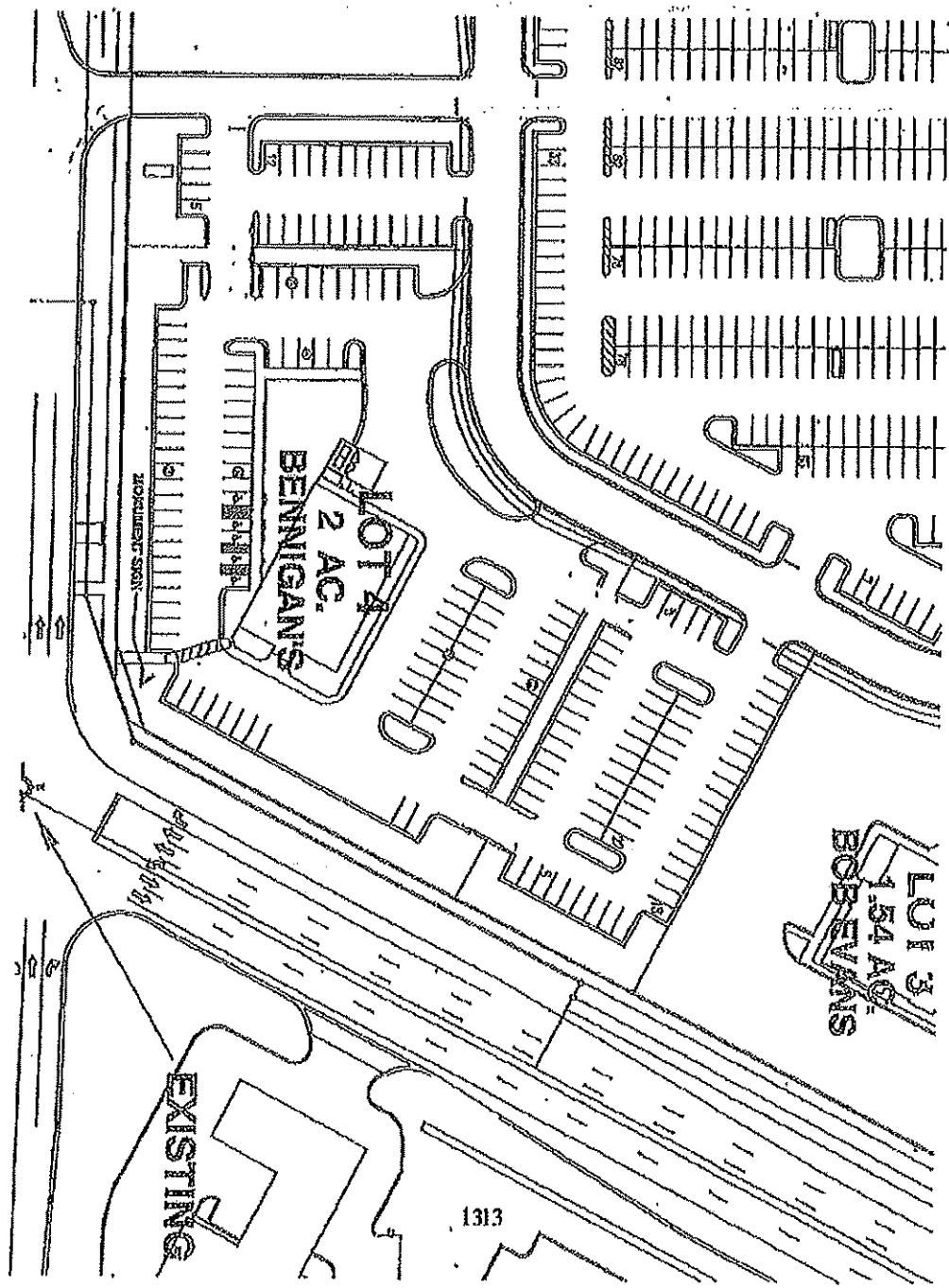


EXHIBIT E

RECONFIGURATION OF REMOTE PARKING AREAS



**EXHIBIT F
TAX BILL**

[Send To Printer]

Parcel: 4711-05-400-049

Unit Information	[collapse]
Genoa Township	

Property Address	[collapse]
3850 E GRAND RIVER HOWELL, MI 48843	

Owner Information	[collapse]
WAL-MART STORES #DIVISION-STORE STORE #1754 DEPT 0555 PO BOX 8050 MS 0555 BENTONVILLE, AR 72712-8050	Unit: 4711

Taxpayer Information	[collapse]
SEE OWNER INFORMATION	

Legal Information for 4711-05-400-049	[collapse]
<p>SEC 5 & 8 T2N R5E LIVINGSTON COMMONS, WALMART STORE # 1754-04, TRACT # 1 DESCRIBED AS FOLLOWS: COMM SE COR SEC 5, TH S87°37' 12"W 60.02 FT, TH N 106.85 FT TO POB, TH S88°W 203.90 FT TO A TAN CURVE LEFT 12.57 FT CHORD BEARING S43°27'17"W 11.31 FT, TH S01°47'33"E 101.93 FT, TH S01°29'15"E 242.05 FT TO A TAN CURVE LEFT, TH ELY 67.54 FT RADIS IS 43.00 FT CENTRAL ANGLE OF 90° CHORD BEARING S46°49'38"E 60.81 FT, TH S88°27'39"W 671.98 FT TO TAN CURVE LEFT S'LY 65.81 FT RADIUS 58.00 FT CENTRAL ANGLE OF 65°00'39" AND CHORD BEARING S55°57'19"W 62.34 FT, TH S23°27'00"W 131.85 FT, TH S88°27'39"W 282.81 FT, TH N01°27'04"W 422.93 FT, TH N01°37'12"W 867.97 FT, TH S63°55'45"E 151.40 FT, TH N01°41'57"W 320.72 FT, TH S63°56'04"E 88.56 FT, TH S30°38'19"W 65.36 FT, TH S01°42'59"E 178.26 FT TAN CURVE LEFT E'LY 270.52 FT RADIUS 250.00 FT 61°59'55" AND CHORD BEARING S32°42' 57"E 257.51 FT, TH S63°38'59"E 11.65 FT, TH N01°40'35"W 3.75 FT, TH S63°57' 17"E 120.00 FT, TH S02°13'42"E 4.61 FT TO A NON-TANGENTIAL CURVE TO THE LEFT TH E'LY ALONG BACK OF CURB 76.65 FT WHOSE RADIUS IS 112.50 FT WITH A CENTRAL ANGLE OF 39°02'11"AND A CHORD BEARING S82°58'14"E 75.17 FT TO A COMPOUND CURVE TH N'LY ALONG BACK OF A CURB 26.08 FT WHOSE RADIUS IS 25 FT WITH A CENTRAL ANGLE OF 59°45'43"AND A CHORD BEARING N47°37'49"E 24.91 FT TH N17°12'51"E ALONG BACK ON CURB 138.71 FT TH N14°18'59"E ALONG BACK OF CURB 58.37 FT TH N01°43'40"E ALONG BACK OF CURB 52.36 FT TH N12°24'27"E ALONG BACK OF CURB 48.70 FT TH S63°57'17"E 46.53 FT TH S15°41'57"W ALONG BACK OF CURB 74.99 FT TH S14°11'26"W ALONG BACK OF CURB 74.22 FT TH S17°11'25"W ALONG BACK OF CURB 121.51 FT TO A TANGIAL CURVE TO LEFT TH E'LY ALONG BACK OF CURB 59.12 FT WHOSE RADIUS IS 33 FT WITH A CENTRAL ANGLE OF 102°38'47" AND A CHORD BEARING S34°07'58"E 51.53 FT TH S85°13'42"E ALONG BACK OF CURB 116.62 FT TO A TANGENTIAL CURVE TO THE RIGHT TH E'LY ALONG BACK OF CURB 68.16 FT WHOSE RAIDUS IS 182 FT WITH A CENTRAL ANGLE OF 21°27'27"AND CHORD BEARING S74°29'58"E 67.76 FT TH S64°00'14"E ALONG BACK OF CURB 38.15 FT TH N25°59'46"E ALONG EXTENDED BACK OF CURB 237.04 FT TH S63°57'17"E 126.34 FT TH S25°59'46"W ALONG EXTENDED BACK OF CURB 236.93 FT TH S64°00'14"E ALONG BACK OF CURB 59.23 FT TO TANGENTIAL CURVE TO THE RIGHT TH S'LY ALONG BACK OF CURB 111.52 FT WHOSE RADIUS IS 102 FT WITH A CENTRAL ANGLE OF 62°38'36" AND CHORD BEARING S32°40'56"E 105.05 FT TH S01°30'08"E ALONG BACK OF CURB 70.71 FT TH N88°27'E ALONG EXTENDED BACK OF CURB 213.08 FT TH S00°54'40"E 108.12 FT TO POB CONT. 22.95 AC M/L SPLIT FROM 05-400-026 AND 88-200-001 5/99 CORR LEGAL 1/01</p>	

EXHIBIT E PAGE TWO

General Information for 2010 Summer			
School District:	47070	PRE/MBT %:	0.0000
Taxable Value:	\$6,717,900	State Equalized Value:	\$6,717,900
Property Class:	201	Assessed Value:	\$6,717,900
Tax Bill Number		Last Receipt Number:	00013880
Last Payment Date:	09/03/2010	Number Of Payments	1
Base Tax:	\$221,729.65	Base Paid:	\$221,729.65
Admin Fees:	\$2,217.29	Admin Fees Paid:	\$2,217.29
Interest Fees:	\$0.00	Interest Fees Paid:	\$0.00
Total Tax & Fees:	\$223,946.94	Total Paid:	\$223,946.94
Renaissance Zone:	N/A	Mortgage Code:	N/A

Tax Bill Breakdown for 2010 Summer

Taxing Authority	Millage Rate	Amount	Amount Paid
STATE ED TAX	6.000000	\$40,307.40	\$40,307.40
HO SCHOOL OPER	18.000000	\$120,922.20	\$120,922.20
HO SCHOOL DEBT	3.280000	\$22,034.71	\$22,034.71
COUNTY ALLOCATED	3.389700	\$22,771.66	\$22,771.66
LIVINGSTON ISD N	2.336100	\$15,693.68	\$15,693.68
LIVINGSTON ISD P	1.168100	\$0.00	\$0.00
Admin Fees:		\$2,217.29	\$2,217.29
Interest Fees:		\$0.00	\$0.00
Totals:	34.173900	\$223,946.94	\$223,946.94

Parcel: 4711-05-400-049

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[Send To Printer]

Parcel: 4711-05-400-049

Unit Information	[collapse]
Genoa Township	

Property Address	[collapse]
3850 E GRAND RIVER HOWELL, MI 48843	

Owner Information	[collapse]
WAL-MART STORES #DIVISION-STORE STORE #1754 DEPT 0555 PO BOX 8050 MS 0555 BENTONVILLE, AR 72712-8050	Unit: 4711

Taxpayer Information	[collapse]
SEE OWNER INFORMATION	

Legal Information for 4711-05-400-049	[collapse]
<p>SEC 5 & 8 T2N R5E LIVINGSTON COMMONS, WALMART STORE # 1754-04, TRACT # 1 DESCRIBED AS FOLLOWS: COMM SE COR SEC 5, TH S87°37' 12"W 60.02 FT, TH N 106.85 FT TO POB, TH S88°W 203.90 FT TO A TAN CURVE LEFT 12.57 FT CHORD BEARING S43°27'17"W 11.31 FT, TH S01°47'33"E 101.93 FT, TH S01°29'15"E 242.05 FT TO A TAN CURVE LEFT, TH E'LY 67.54 FT RADIS IS 43.00 FT CENTRAL ANGLE OF 90° CHORD BEARING S46°49'38"E 60.81 FT, TH S88°27'39"W 671.98 FT TO TAN CURVE LEFT S'LY 65.81 FT RADIUS 58.00 FT CENTRAL ANGLE OF 65°00'39" AND CHORD BEARING S55°57'19"W 62.34 FT, TH S23°27'00"W 131.85 FT, TH S88°27'39"W 282.81 FT, TH N01°27'04"W 422.93 FT, TH N01°37'12"W 867.97 FT, TH S63°55'45"E 151.40 FT, TH N01°41'57"W 320.72 FT, TH S63°56'04"E 88.56 FT, TH S30°38'19"W 65.36 FT, TH S01°42'59"E 178.26 FT TAN CURVE LEFT E'LY 270.52 FT RADIUS 250.00 FT 61°59'55" AND CHORD BEARING S32°42' 57"E 257.51 FT, TH S63°38'59"E 11.65 FT, TH N01°40'35"W 3.75 FT, TH S63°57' 17"E 120.00 FT, TH S02°13'42"E 4.61 FT TO A NON-TANGENTIAL CURVE TO THE LEFT TH E'LY ALONG BACK OF CURB 76.65 FT WHOSE RADIUS IS 112.50 FT WITH A CENTRAL ANGLE OF 39°02'11"AND A CHORD BEARING S82°58'14"E 75.17 FT TO A COMPOUND CURVE TH N'LY ALONG BACK OF A CURB 26.08 FT WHOSE RADIUS IS 25 FT WITH A CENTRAL ANGLE OF 59°45'43"AND A CHORD BEARING N47°37'49"E 24.91 FT TH N17°12'51"E ALONG BACK ON CURB 138.71 FT TH N14°18'59"E ALONG BACK OF CURB 58.37 FT TH N04°43'40"E ALONG BACK OF CURB 52.36 FT TH N12°24'27"E ALONG BACK OF CURB 48.70 FT TH S63°57'17"E 46.53 FT TH S15°41'57"W ALONG BACK OF CURB 74.99 FT TH S14°11'26"W ALONG BACK OF CURB 74.22 FT TH S17°11'25"W ALONG BACK OF CURB 121.51 FT TO A TANGIAL CURVE TO LEFT TH E'LY ALONG BACK OF CURB 59.12 FT WHOSE RADIUS IS 39 FT WITH A CENTRAL ANGLE OF 102°38'47" AND A CHORD BEARING S34°07'58"E 51.53 FT TH S85°13'42"E ALONG BACK OF CURB 116.62 FT TO A TANGENTIAL CURVE TO THE RIGHT TH E'LY ALONG BACK OF CURB 68.16 FT WHOSE RAIDUS IS 182 FT WITH A CENTRAL ANGLE OF 21°27'27"AND CHORD BEARING S74°29'58"E 67.76 FT TH S64°00'14"E ALONG BACK OF CURB 38.15 FT TH N25°59'46"E ALONG EXTENDED BACK OF CURB 237.04 FT TH S63°57'17"E 126.34 FT TH S25°59'46"W ALONG EXTENDED BACK OF CURB 236.93 FT TH S64°00'14"E ALONG BACK OF CURB 59.23 FT TO TANGENTIAL CURVE TO THE RIGHT TH S'LY ALONG BACK OF CURB 111.52 FT WHOSE RADIUS IS 102 FT WITH A CENTRAL ANGLE OF 62°38'36" AND CHORD BEARING S32°40'56"E 106.05 FT TH S01°30'08"E ALONG BACK OF CURB 70.71 FT TH N88°27"E ALONG EXTENDED BACK OF CURB 213.08 FT TH S00°54'40"E 108.12 FT TO POB CONT. 22.95 AC M/L SPLIT FROM 05-400-026 AND 08-200-001 5/99 CORR LEGAL 1/01</p>	

EXHIBIT E PAGE FOUR


General Information for 2010 Winter			
School District:	47070	PRE/MBT %:	0.0000
Taxable Value:	\$6,717,900	State Equalized Value:	\$6,717,900
Property Class:	201	Assessed Value:	\$6,717,900
Tax Bill Number:		Last Receipt Number:	
Last Payment Date:		Number Of Payments:	0
Base Tax:	\$57,186.63	Base Paid:	\$0.00
Admin Fees:	\$571.86	Admin Fees Paid:	\$0.00
Interest Fees:	\$0.00	Interest Fees Paid:	\$0.00
Total Tax & Fees:	\$57,758.49	Total Paid:	\$0.00
Renaissance Zone:	N/A	Mortgage Code:	N/A

Tax Bill Breakdown for 2010 Winter

Taxing Authority	Millage Rate	Amount	Amount Paid
COUNTY AMBULANCE	0.294500	\$1,978.42	\$0.00
HCMA - PARKS	0.214600	\$1,441.66	\$0.00
VETERANS RELIEF	0.050000	\$335.69	\$0.00
GENOA ALLOC	0.814600	\$5,472.40	\$0.00
HO SCHOOL DEBT	3.280000	\$22,034.71	\$0.00
LIVINGSTON ISD	1.168000	\$0.00	\$0.00
HO LIBRARY	0.692000	\$4,648.78	\$0.00
BR FIRE AUTH	1.250000	\$8,397.37	\$0.00
GRAND RIVER WTR	0.000000	\$6,969.85	\$0.00
GR RVR WIDENING	0.000000	\$5,907.55	\$0.00
Admin Fees:		\$571.86	\$0.00
Interest Fees:		\$0.00	\$0.00
Totals:	7.783700	\$57,758.49	\$0.00

Parcel: 4711-05-400-049

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Genoa Township

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Add to Favorites
Login
Help

Main > Assessing > Property and Land Search > Results > Details

Additional Pages

General/Sales

Buildings

Images/Sketches

Related Details...

Tax Information

Back to Main

collapse the menu

Click this button to collapse the above menu to the top of the screen.

General Property Information

Parcel: 4711-05-400-049 Data Current As Of: 4:27 AM 5/07/2010 Printer friendly version

[View this parcel on a map](#)

**NOTE: There is 1 Image and 1 sketch attached to the current property.

Property Address [collapse]

3850 E GRAND RIVER
HOWELL, MI 48843

Owner Information [collapse]

WAL-MART STORES #DIVISION-STORE STORE #1754 DEPT 0555 PO BOX 8050 MS 0555 BENTONVILLE, AR 72712-8050	Unit:	4711
---	-------	------

Taxpayer Information [collapse]

SEE OWNER INFORMATION

General Information for Tax Year 2010 [collapse]

Property Class:	201	Assessed Value:	\$6,717,900
School District:	47070 - HOWELL	Taxable Value:	\$6,717,900
State Equalized Value:	\$6,717,900	Map #	AMY123
USER NUM IDX	216	Date of Last Name Chg:	04/30/2007

Date Filed:

Principal Residence Exemption (2010 May 1):	0.0000 %
Principal Residence Exemption (2010 Final):	0.0000 %
Principal Residence Exemption (2011 May 1):	0.0000 %

Previous Year Info	MROK Assessed	Final S.E.V.	Final Taxable
2009	\$7,328,300	\$7,328,300	\$7,328,300
2008	\$7,525,900	\$7,525,000	\$7,525,000

Land Information [collapse]

Acreage:	22.95	Frontage:	0.00 Ft.
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Zoning Code:	NRPUD	Depth:	0.00 Ft.
Land Value:	\$4,498,600	Mortgage Code:	00000
Land Improvements:	\$797,124	Lot	
Release Zone:	NO	Dimensions/Comments:	
ECF Neighborhood Code:	2010 - 2010 BIG BOX		

Legal Information for 4711-05-400-049 [collapse]

SEC 5 & 8 T2N R5E LIVINGSTON COMMONS, WALMART STORE # 1754-04, TRACT # 1 DESCRIBED AS FOLLOWS: COMM SE COR SEC 5, TH S87°37' 12"W 60.02 FT, TH N 106.85 FT TO POB, TH S88°W 203.90 FT TO A TAN CURVE LEFT 12.57 FT CHORD BEARING S43°27'17"W 11.31 FT, TH S01°47'33"E 101.93 FT, TH S01°29'15"E 242.05 FT TO A TAN CURVE LEFT, TH E'LY 67.54 FT RADIS IS 43.00 FT CENTRAL ANGLE OF 90° CHORD BEARING S46°49'38"E 60.81 FT, TH S88°27'39"W 671.99 FT TO TAN CURVE LEFT S'LY 65.81 FT RADIUS 58.00 FT CENTRAL ANGLE OF 65°00'39" AND CHORD BEARING S55°57'19"W 62.34 FT, TH S23°27'00"W 131.85 FT, TH S88°27'39"W 282.81 FT, TH N01°27'04"W 422.93 FT, TH N01°37'12"W 867.97 FT, TH S63°55'45"E 151.40 FT, TH N01°41'57"W 320.72 FT, TH S63°56'04"E 88.56 FT, TH S30°38'19"W 65.36 FT, TH S01°42'59"E 178.26 FT TAN CURVE LEFT E'LY 270.52 FT RADIUS 250.00 FT 61°59'55" AND CHORD BEARING S32°42' 57"E 257.51 FT, TH S63°38'59"E 11.65 FT, TH N01°40'35"W 3.75 FT, TH S63°57' 17"E 120.00 FT, TH S02°13'42"E 4.61 FT TO A NON-TANGENTIAL CURVE TO THE LEFT TH E'LY ALONG BACK OF CURB 76.65 FT WHOSE RADIUS IS 112.50 FT WITH A CENTRAL ANGLE OF 39°02'11"AND A CHORD BEARING S82°58'14"E 75.17 FT TO A COMPOUND CURVE TH N'LY ALONG BACK OF A CURB 26.08 FT WHOSE RADIUS IS 25 FT WITH A CENTRAL ANGLE OF 59°45'43"AND A CHORD BEARING N47°37'49"E 24.91 FT TH N17°12'51"E ALONG BACK ON CURB 138.71 FT TH N14°18'59"E ALONG BACK OF CURB 58.37 FT TH N04°43'40"E ALONG BACK OF CURB 52.36 FT TH N12°24'27"E ALONG BACK OF CURB 48.70 FT TH S63°57'17"E 46.53 FT TH S15°41'57"W ALONG BACK OF CURB 74.99 FT TH S14°11'26"W ALONG BACK OF CURB 74.22 FT TH S17°11'25"W ALONG BACK OF CURB 121.51 FT TO A TANGIAL CURVE TO LEFT TH E'LY ALONG BACK OF CURB 59.12 FT WHOSE RADIUS IS 33 FT WITH A CENTRAL ANGLE OF 102°38'47" AND A CHORD BEARING S34°07'58"E 51.53 FT TH S85°13'42"E ALONG BACK OF CURB 116.62 FT TO A TANGENTIAL CURVE TO THE RIGHT TH E'LY ALONG BACK OF CURB 68.16 FT WHOSE RADIUS IS 182 FT WITH A CENTRAL ANGLE OF 21°27'27"AND CHORD BEARING S74°29'58"E 67.76 FT TH S64°00'14"E ALONG BACK OF CURB 38.15 FT TH N25°59'46"E ALONG EXTENDED BACK OF CURB 237.04 FT TH S63°57'17"E 126.34 FT TH S25°59'46"W ALONG EXTENDED BACK OF CURB 236.93 FT TH S64°00'14"E ALONG BACK OF CURB 59.23 FT TO TANGENTIAL CURVE TO THE RIGHT TH S'LY ALONG BACK OF CURB 111.52 FT WHOSE RADIUS IS 102 FT WITH A CENTRAL ANGLE OF 62°38'36" AND CHORD BEARING S32°40'56"E 106.05 FT TH S01°30'08"E ALONG BACK OF CURB 70.71 FT TH N88°27"E ALONG EXTENDED BACK OF CURB 213.08 FT TH S00°54'40"E 108.12 FT TO POB CONT. 22.95 AC M/L SPLIT FROM 05-400-026 AND 08-200-001 5/99 CORR LEGAL 1/01

Sales Information

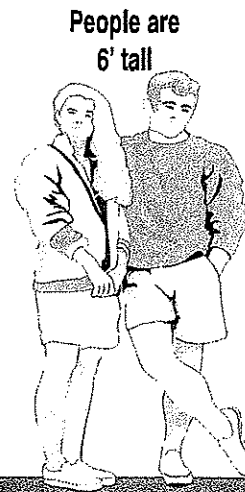
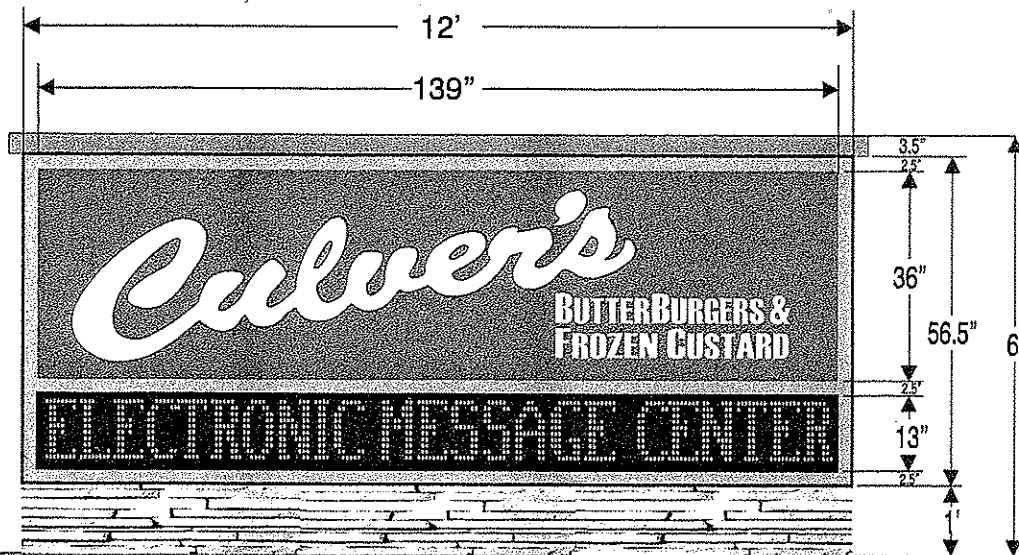
1 sale record(s) found.

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms Of Sale	Libar/Page
01/04/2001	\$0.00	WD	WAL-MART STORES #DIVISION-STORE		ARMS-LENGTH	28880902

Load Building Information on this Page.

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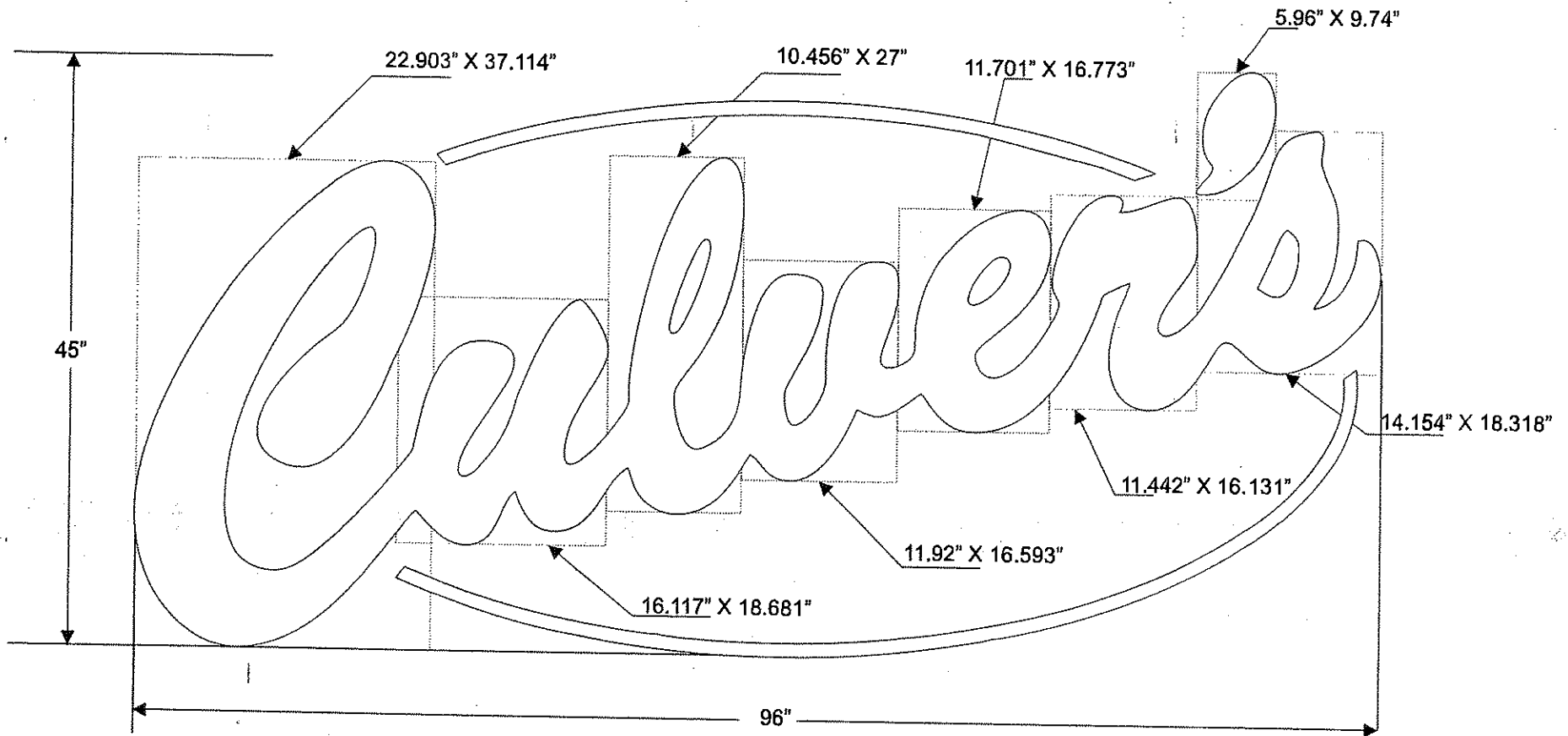


20mm 16 X 176

Concrete and
brick work
by others

TITLE 12' Long Monument Sign with EMC		THIS DRAWING IS THE PROPERTY OF: Jim Greeley Signs & Awnings, Inc. 100 W. ROBB RD. N. INDUSTRIAL PARK RICHLAND CENTER, WI. 53581 608/647-2628 Fax 608/647-2020 1-800-WI-SIGNS	
PROJECT	DATE 10-13-2011	SCALE 3/8" = 1'	BY GRD
VNML	FRONT FILE P:\0 CULVER'S\ 0 Culver's Stores\ Genoa Township, MI\	IT IS UN-LAWFUL TO USE THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF JIM GREELEY SIGNS AND AWNINGS, INC.	

45" x 96" = 4,320 square inches divided by 144 = 30 square feet



30 Sq Ft.
 (Actual Square Footage measured
 by drawing a box around sign)

TITLE Culver's 45" x 96" Script Wall Logo		P:\AI's Projects\	THIS DRAWING IS THE PROPERTY OF: Jim Greeley Signs & Awnings, Inc. 100 W. ROBB RD. N. INDUSTRIAL PARK RICHLAND CENTER, WI. 53581 608/647-2628 Fax 608/647-2020 1-800-WI-SIGNS IT IS UN-LAWFUL TO USE THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF JIM GREELEY SIGNS AND AWNINGS, INC.
Layout Approved By _____	Date _____		
DATE 10-03-2011	SCALE 1" = 1'	BY GRD	

Submitted by Enterprise Lighting, LTD.



Enterprise Lighting Ltd.
Manufacturers of the finest lighting

Job Name:

Culvers

Catalog Number:
LM10C WY/FC/CO

Notes: includes lamp

Type:

P

ELL09-4294

C PER LIGHTING - LUMARK®

DESCRIPTION

Lumark's Cutoff Wally is a cutoff classified wall luminaire. Combining compact and aerodynamic styling with higher wattage performance, it is ideal for areas where spill light and glare control must be managed effectively. U.L. Listed for wet locations.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

A ... Housing

Die-cast aluminum housing finished standard bronze polyester powder coat.

B ... Socket

HID: 4Kv medium-base socket.
CFL: GX24q-4 (4-pin)

C ... Lamp

HID: Medium-base lamp included and available, up to 150W High Pressure Sodium or 100W Pulse Start Metal Halide.
CFL: Supplied with 4-pin, 42W Compact Fluorescent lamp.

D ... Door

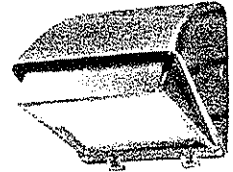
Special one-piece door design held in place with slot-head captive screws, provides lowglare cutoff lighting. Silicone gasketing seals out dirt and contaminants.

E ... Lens

Patterned tempered glass lens minimizes direct lamp imaging.

F ... Mounting

Ships completely prewired and preassembled. Easily mounts to J-box wall for quick installation. (3) 1/2" NPS conduit taps available.

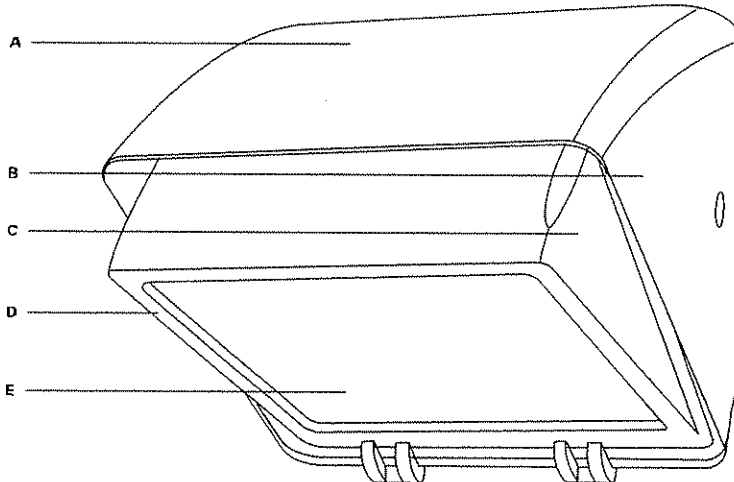


WALLY CUTOFF

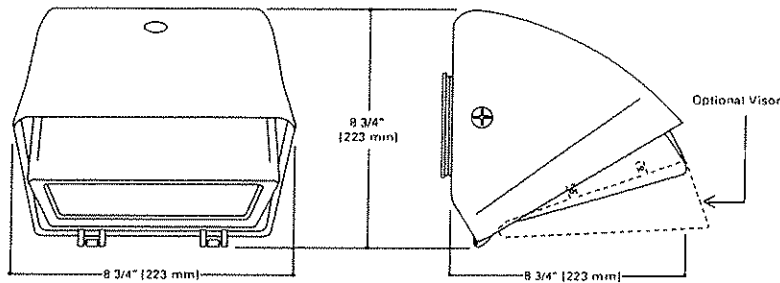
50-150W
High Pressure Sodium
70-100W
Pulse Start Metal Halide
42W
Compact Fluorescent

WALL MOUNT
LUMINAIRE

DARK SKY CO
COMPLIANT Cutoff



DIMENSIONS



TECHNICAL DATA

U.L. Wet Location Listed
CSA Certified

ENERGY DATA

Reactor Ballast Input Watts
50W HPS NPF (56 Watts)
70W HPS NPF (82 Watts)
100W HPS NPF (118 Watts)
150W HPS NPF (175 Watts)

High Reactance Ballast Input Watts
70W MP NPF (92 Watts)
100W MP NPF (128 Watts)

Electronic Ballast Input Watts
42W of Electronic (46 Watts)

SHIPPING DATA

Approximate Net Weight:

HID: 11 lbs. (5kgs.)
CFL: 7.1 lbs. (3.23 kgs.)

COOPER Lighting
www.cooperlighting.com

Specifications and Dimensions subject to change without notice.

Consult your representative for additional options and finishes.

ADH082315
12/29/2008 5:49:42 PM

Submitted by Enterprise Lighting, LTD.



Enterprise Lighting Ltd.
Manufacturers of Quality Lighting

Job Name:

Culvers

Catalog Number:
LM10C WY/FC/CO

Notes: includes lamp

Type:

P

ELL09-4294

ORDERING INFORMATION

WALLY CUTOFF

SAMPLE NUMBER: LS50C

Catalog Number	Lamp Type	Lamp Wattage	Ballast Type	Voltage	Net Wt Color
High Pressure Sodium					
LS50C	ED17	50	Reactor/NPF	120V	Bronze
LS70C	ED17	70	Reactor/NPF	120V	Bronze
LS10C	ED17	100	Reactor/NPF	120V	Bronze
LS15C	ED17	150	Reactor/NPF	120V	Bronze
Pulse Start Metal Halide					
LP70C	ED17	70	Hi. React/NPF	120-277V	Bronze
LP10C	ED17	100	Hi. React/NPF	120-277V	Bronze
Compact Fluorescent					
LC42C	GX24q-4 (4-pin)	42	Electronic	120-277V	Bronze

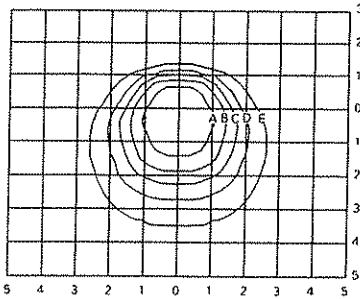
NOTE: Add "W" to the end of catalog number for white finish. Add "WHT" to the end of accessory for white finish (Example: WY/CO.WHT). Not available in 42W CF. In cold temperatures, Compact Fluorescent lamps produce lower illumination levels.

Accessories (order separately)

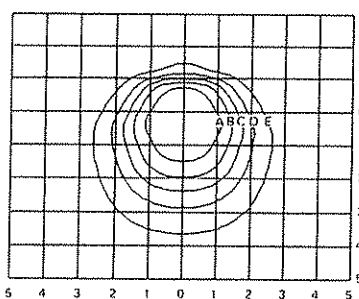
WY/CO=Clear Replacement Door (Bronze) (Not available in 42W Compact Fluorescent)

WY/FC/CO=Full Cutoff Visor for Cutoff (Bronze)

PHOTOMETRICS



LP10C
100-Watt MP
9,300-Lumen Clear ED-17 Lamp



LS15C
150-Watt HPS
16,000-Lumen Clear ED-17 Lamp

Footcandle Table

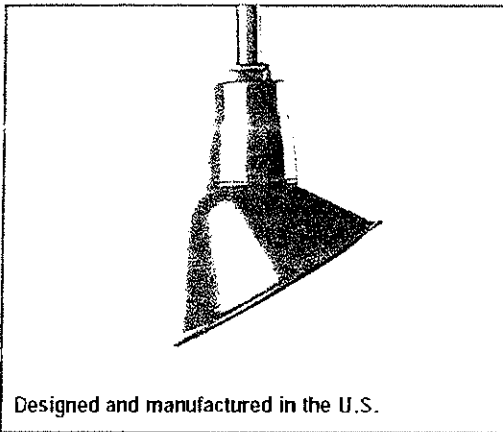
Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
10'	2.00	1.00	0.50	0.20	0.10
12'	1.38	0.69	0.34	0.13	0.06
15'	0.88	0.44	0.22	0.08	0.04

CULVERS

TYPE: M
Note: White color only. Alternate colors will require an additional cost and lead time.

ABOLITE LED ANGLED REFLECTOR (AD)



Designed and manufactured in the U.S.

U.S. Patent D581585 and other U.S. and international patents pending

APPLICATIONS - Signage Lighting and Accent Lighting. Interior or Exterior.

PRODUCT HIGHLIGHTS

- **"Green" Energy-Saving** - Reduces greenhouse gas emissions, slashes operating costs, extends life and eliminates costly lamp disposal involving mercury waste.
- **Long Lasting Sparkle** - LED light beam contains no heat, and no UV, which means degradation in color or quality of the product under display is minimized.
- **Dramatically Lower Maintenance Costs** - 60,000-hour LED source extends life 3 to 5 times as compared to conventional HID sources, 30 times incandescent.
- **Integrated Power Supply** - Built into fixture allowing RLM to be connected directly to line voltage.

REFLECTOR - Heavy duty spun galvanized steel construction with either polyester powder coat or galvanized finish.

ELECTRICAL - Integral power supply operates on 120-240 VAC (50/60Hz) input; no external power supplies required.

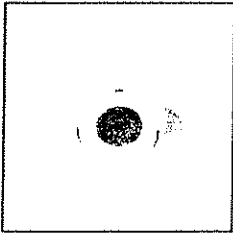
LIGHT OUTPUT - 700 lumens with an input power of 10 watts.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

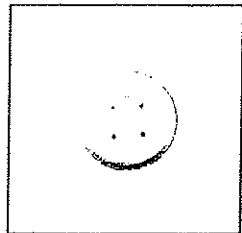
DRIVER - State-of-the-Art driver designed specifically for RLM fixtures provides unsurpassed system efficiency. Components are fully encased in potting material for moisture resistance. Driver complies with IEC and FCC standards.

OPTIONAL DIRECTIONAL OPTICS - Allows field adjustment of the light beam for directional illumination of signage.

LISTING - Listed to U.S. and Canadian safety standards. Suitable for wet locations.



Directional Optics



Symmetrical Optics

FINISH - Available in either architectural textured, high gloss, satin or galvanized finish.

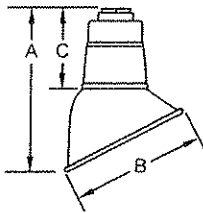
LED - Select, high brightness LEDs with 60,000 hour life. 5000°K color temperature (nominal).

MOUNTING - Fixed hub tapped for 3/4" NPT conduit. Pre-wired with 96" leads.



Suitable for wet locations

DIMENSIONS



Prefix	Height (A)	Diameter (B)	Neck (C)	Weight (lbs./kg)
AD 100	10" (254mm)	7" (178mm)	5" (127mm)	2.0 (.9kg)
AD 150	11-1/2" (292mm)	9" (229mm)	5-1/4" (133mm)	2.0 (.9kg)
AD 200	13-1/2" (343mm)	11" (279mm)	5-1/2" (140mm)	2.5 (1.1kg)

Project Name _____ Fixture Type _____
 Catalog # _____



ABOLITE LED ANGLED REFLECTOR (AD)



LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: AD 200 10 CW LED UE GWT LDS96 WL DO						SPECIAL BRACKET
						414139GWT-SPL-GB-3-GWT

Prefix	Qty. LED's	Color Temp.	Light Source	Line Voltage	Reflector Color	Mounting	Options
AD 100' AD 150' AD 200'	10	CW - Cool White (5000 K)	LED - Light Emitting Diode	UE* - Universal Electronic (120-240)	MSV - Metallic Silver GWT - Gloss White GBK - Gloss Black GRD - Gloss Red GGN - Gloss Green GPT - Textured Graphite RUS - Textured Rust SCP - Satin Copper STO - Satin Turquoise SVG - Satin Verde Green GAL - Galvanized	LDS96 WL Factory prewired leads for use with stem or bracket mounting	DO - Directional Optics

- 1- Cordsets not available for AD Series.
- 2- Fixture will not operate on 277VAC (120-240 only).

CANOPY ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" (19mm) Tap Decorative Box Cover Aligner - Gloss White	BC600 3 GWT
3/4" (19mm) Tap Round Box Cover Aligner - Zinc	BC585 ZINC
3/4" (19mm) Tap Square Box Cover Aligner - Zinc	BC585SQ ZINC

- Standard BC600 finish is Gloss White Powder; other RLM colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)

WIRE GUARD ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
7" (178mm) Convex Wire Guard - Metallic Silver	COG 7 MSV
9" (229mm) Convex Wire Guard - Metallic Silver	COG 9 MSV
11" (279mm) Convex Wire Guard - Metallic Silver	COG 11 MSV

- Standard finish is Metallic Silver Powder; other RLM colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)

CONDUIT SYSTEM ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" x 3" (19mm x 76mm) Aluminum Stem - Gloss White	ST 3 3 GWT
3/4" x 6" (19mm x 152mm) Aluminum Stem - Gloss White	ST 6 3 GWT
3/4" x 12" (19mm x 4m) Aluminum Stem - Gloss White	ST 12 3 GWT
3/4" x 18" (19mm x 5m) Aluminum Stem - Gloss White	ST 18 3 GWT
3/4" x 24" (19mm x 6m) Aluminum Stem - Gloss White	ST 24 3 GWT
3/4" x 36" (19mm x 9m) Aluminum Stem - Gloss White	ST 36 3 GWT
3/4" x 48" (19mm x 1.2m) Aluminum Stem - Gloss White	ST 48 3 GWT
3/4" x 60" (19mm x 1.5m) Aluminum Stem - Gloss White	ST 60 3 GWT
3/4" x 72" (19mm x 1.8m) Aluminum Stem - Gloss White	ST 72 3 GWT
3/4" (19mm) Alum. Stem Coupler - Gloss White	COP 3 GWT

- Standard finish is Gloss White Powder; other RLM colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)

GOOSE NECK BRACKET ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB A 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB B 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB C 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB D 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB E 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB F 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB G 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB H 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB J 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB K 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB P 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB U 3 GWT

WALL BRACKETS ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
Contemporary Wall Bracket - Medium - Gloss White	CWBM 1 GWT
Contemporary Wall Bracket - Long - Gloss White	CWBL 1 GWT
Nostalgic Aluminum Wall Scroll Bracket - Gloss White	DWB 1 GWT

BRACKETS

- See Buyers Guide for detail on bracket sizes and shapes.
- Standard finish is Gloss White Powder; colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)
- Designed for mounting to recessed 4" (102mm) octagon box (by others).

02/17/10

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LSI INDUSTRIES INC.

Project Name _____ Fixture Type _____
Catalog # _____

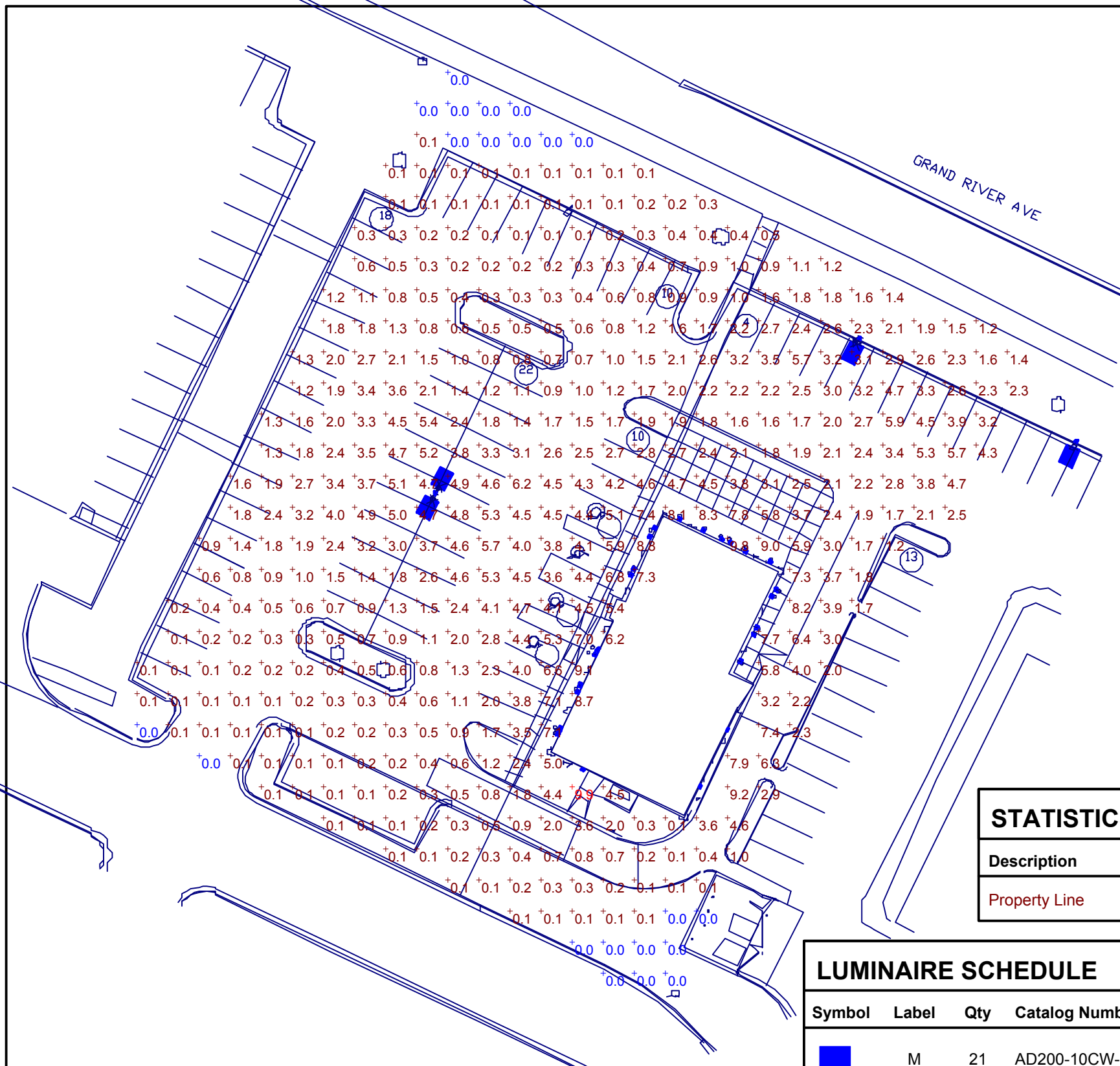


Designer
jdt

Date
Nov 14, 2011

Scale
on dwg





Drawing No.

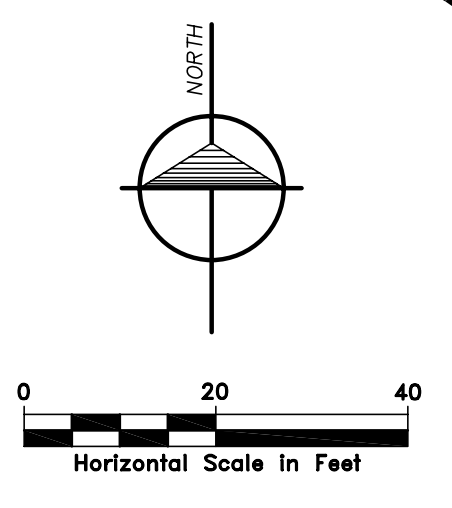
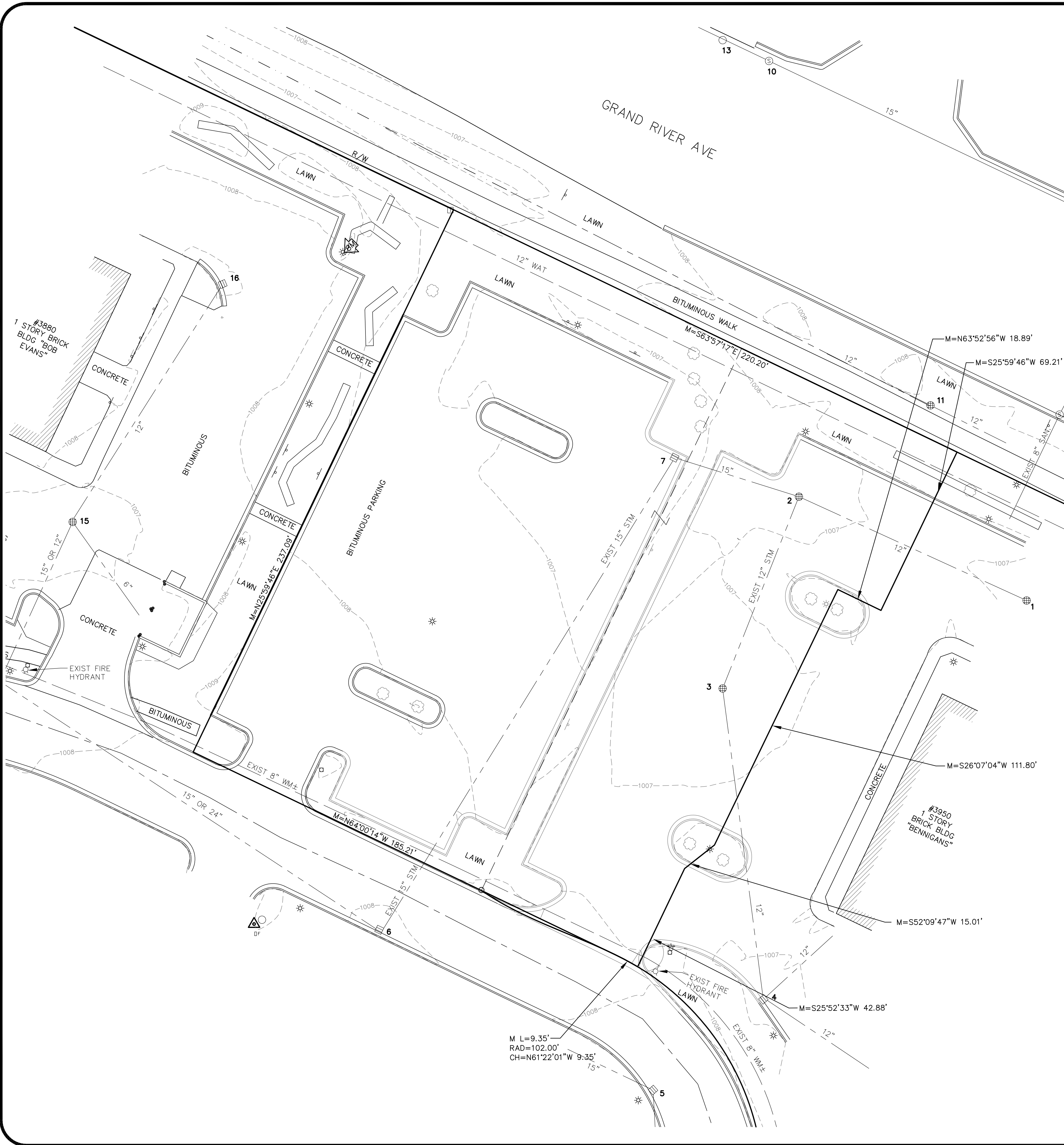


CALCULATIONS BASED UPON 400 WATT METAL HALIDE LAMPS IN LUMINAIRE WITH AN "R3" DISTRIBUTION AND MOUNTED AT APPROXIMATELY 30' ABOVE GRADE.

Plan View
 Scale 1" = 40'

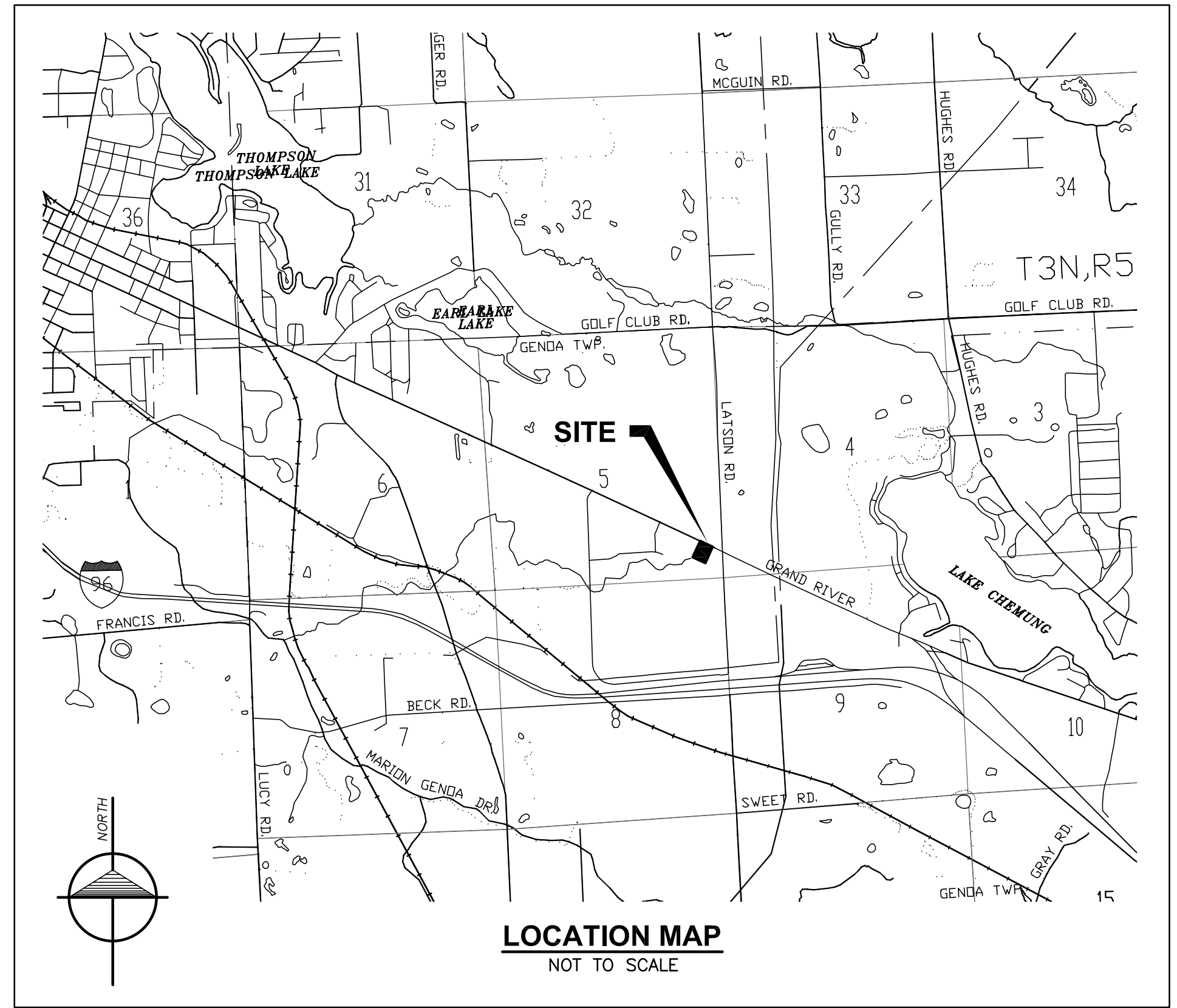
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	2.0 fc	9.9 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	M	21	AD200-10CW-LED	ABOLITE LED ANGLED REFLECTOR	10 LED LAMPS	A810.IES	5500	0.75	80
	AA	2	KSF2 400M R3	AREA LIGHT WITH TYPE 3, SHORT,CUTOFF REFLECTOR, FLAT GLASS LENS.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POS.	94100501.ies	32000	0.75	465
	AA1	1	KSF2 400M R3	AREA LIGHT WITH TYPE 3, SHORT,CUTOFF REFLECTOR, FLAT GLASS LENS.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POS.	94100501.ies	32000	0.75	930
	WP	3	LM07CWY/FC/CO	BUILDING MOUNTED LUMINAIRE, CUTOFF 70W MH, W/ CLEAR LAMP.	ONE 70-WATT CLEAR E-17 METAL HALIDE, HORIZONTAL POSITION.	LTL12142.IES	5200	1.00	95



UTILITY STRUCTURE INVERTS

- | | | | |
|--|--|---|--|
| 1) ROUND CATCH BASIN
RIM=1006.61
12" W 1003.01 | 5) SQUARE CATCH BASIN
RIM=1007.19
15" W 1001.59
15" SE 1001.54 | 9) SANITARY MANHOLE
RIM=1006.96
8" S 1000.06
8" E 1000.46
15" W 1000.01 | 13) WATER MANHOLE?
RIM=1007.84
BOLTED SHUT |
| 2) ROUND CATCH BASIN
RIM=1006.32
12" E 1001.82
12" S 1001.32
15" W 1001.52 | 6) SQUARE CATCH BASIN
RIM=1007.69
24" W 1001.39 15"?"
15" NE 1001.39 | 10) SANITARY MANHOLE
RIM=1007.73
15" E 999.48
15" W 999.38 | 14) SQUARE CATCH BASIN
RIM=1006.94
24" W 1000.74
15" N 1000.94 12"?"
15" E 1000.94 24"?" |
| 3) ROUND CATCH BASIN
RIM=1006.22
12" N 1002.37
12" SE 1002.37 | 7) SQUARE CATCH BASIN
RIM=1006.00
15" S 1001.70
15" E 1001.70 | 11) BEEHIVE CATCH BASIN
RIM=1008.09
12" E 1005.24
12" W 1005.24 | 15) ROUND CATCH BASIN
RIM=1006.34
12" N 1002.44
12" S 1002.39 15"?"
6" PVS TO DUMPSTER |
| 4) SQUARE CATCH BASIN
RIM=1006.07
12" E 1002.57
12" NW 1002.57
12" N 1002.57 | 8) SANITARY MANHOLE
RIM=1007.65
8" N 1000.40
8" S 1000.50
8" E 1000.50 | 12) SANITARY MANHOLE
RIM=1008.22
15" E 998.22
15" W 998.02 | 16) SQUARE CATCH BASIN
RIM=1006.74
12" S 1002.99 |



LOCATION MAP
NOT TO SCALE

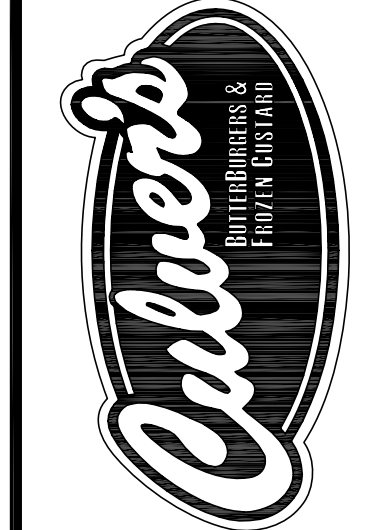
EXISTING CONDITIONS PLAN

Nov 17, 2011 - 11:35am P:\Projects\211093_CULVER'S RESTAURANT\211093D\Map\PH-SiteConditions_MRF.dwg [211093.dwg] [10/10/2011] [11:35am] [11:35am] [11:35am] [11:35am]

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Williams & Works
 engineers, planners, surveyors
 616.224.1500 phone · 616.224.1501 facsimile
 549 Ottawa Ave NW · Grand Rapids, MI 49503
 W&W JOB#: 2111093

Culver Franchising System, Inc.
 540 Water Street
 Prairie du Sac, WI 53578
 608-643-7980



CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

Date	Revision
8-31-11	FOR SITE PLAN APPROVAL
9-21-11	REVISED PER TWP REVIEW
10-26-11	REV. PER PLANNING COMM.
11-21-11	REV. PER PLANNING COMM.

Sheet
C-0

PROPOSED CULVERS PARCEL

All that part of the Southeast 1/4 of Section 5, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as: Commencing at the Southeast corner of Section 5; thence South 87°37'12" West 60.02 feet to the west right of way line of Latson Road (120 feet wide); thence North 00°54'40" West 485.68 feet along said west right of way line to the southwesterly right of way line of Grand River Avenue (variable width), thence North 20°31'52" West 21.17 feet along said southwesterly right of way line; thence North 63°57'17" West 139.30 feet along said southwesterly right of way line to THE PLACE OF BEGINNING OF THIS DESCRIPTION; thence South 25°59'46" West 69.21 feet; thence North 63°52'56" West 18.89 feet; thence South 26°07'04" West 111.80 feet; thence South 52°09'47" West 15.01 feet; thence South 25°52'33" West 42.88 feet; thence northwesterly 9.35 feet along a 102.00 radius non-tangent curve to the left, the chord of which bears North 61°22'01" West 9.35 feet; thence North 64°00'14" West 185.21 feet; thence North 25°59'46" East 237.09 feet to the southwesterly right of way line of Grand River Avenue; thence South 63°57'17" East 220.20 feet along said southwesterly right of way line to the place of beginning.

Subject to all easements and restrictions of record.

PROPOSED RESIDUAL PARCEL

All that part of the Southeast 1/4 of Section 5, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as: Commencing at the Southeast corner of Section 5; thence South 87°37'12" West 60.02 feet to the west right of way line of Latson Road (120 feet wide); thence North 00°54'40" West 485.68 feet along said west right of way line to the southwesterly right of way line of Grand River Avenue (variable width), thence North 20°31'52" West 21.17 feet along said southwesterly right of way line; thence North 63°57'17" West 139.30 feet along said southwesterly right of way line to THE PLACE OF BEGINNING OF THIS DESCRIPTION; thence South 25°59'46" West 69.21 feet; thence North 63°52'56" West 18.89 feet; thence South 26°07'04" West 111.80 feet; thence South 52°09'47" West 15.01 feet; thence South 25°52'33" West 42.88 feet; thence northwesterly 9.35 feet along a 102.00 radius non-tangent curve to the left, the chord of which bears North 61°22'01" West 9.35 feet; thence North 64°00'14" West 185.21 feet; thence North 25°59'46" East 237.09 feet to the southwesterly right of way line of Grand River Avenue; thence South 63°57'17" East 220.20 feet along said southwesterly right of way line to the place of beginning.

Subject to all easements and restrictions of record.

GENERAL NOTES:

SITE AREA = 48,711 Sq. Ft.

ZONING: NRPUD

BUILDING AREA: 3,954 Sq. Ft.

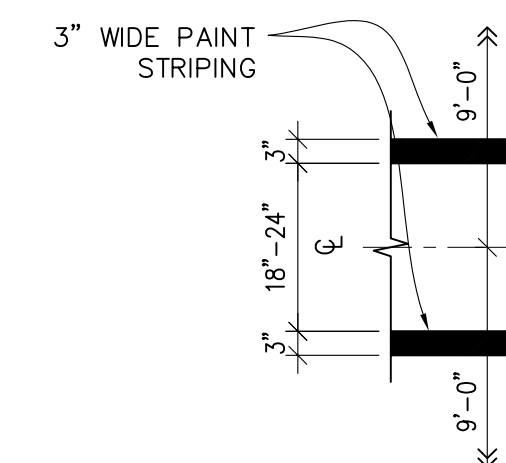
PERCENTAGE OF LAND COVERED BY PROPOSED IMPERVIOUS SURFACES
BUILDING + PAVEMENT = 3,954 + 32,178 = 75%

PARKING REQUIREMENTS : DRIVE-THROUGH RESTAURANT
1 SPACE PER 70 SQ. FT. GROSS LEASABLE FLOOR AREA OR 0.5 SPACES PER SEAT, WHICHEVER IS GREATER, PLUS 3 DESIGNATED DRIVE-THROUGH SHORT TERM WAITING SPACES, PLUS 10 STACKING SPACES FOR DRIVE THROUGH SERVICE WHICH DO NOT CONFLICT WITH USE OF REQUIRED SPACES, PLUS AT LEAST 2 LONGER SPACES DESIGNATED FOR RECREATIONAL VEHICLES AND SEMI-TRUCKS

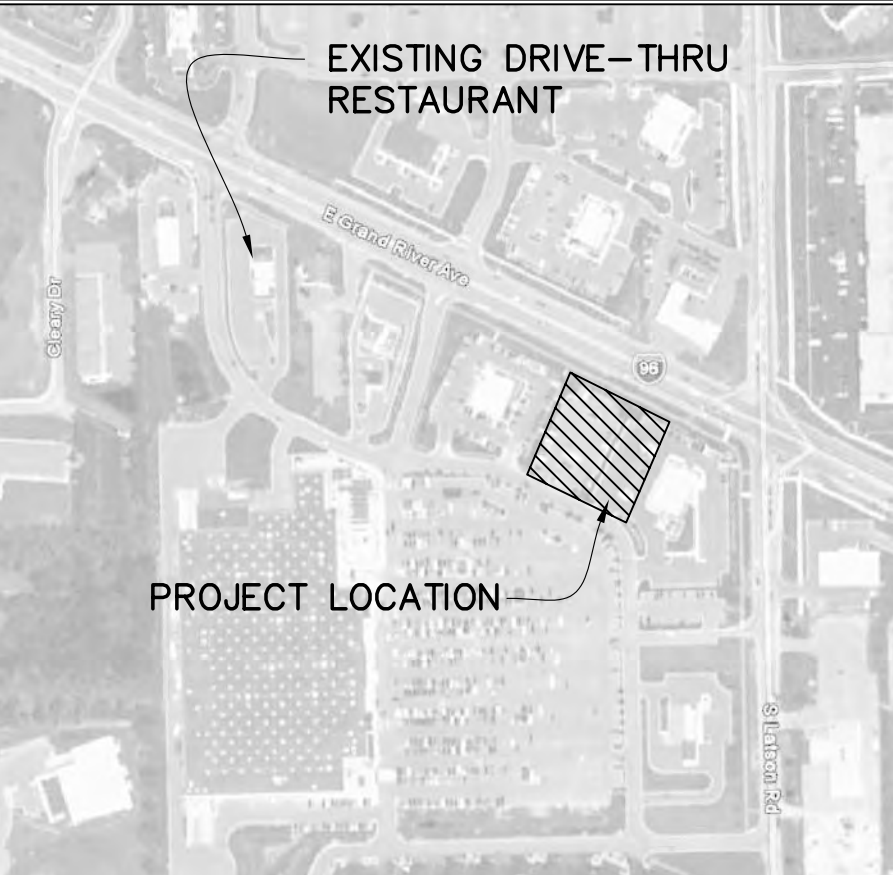
85 SEATS x .5 = 43 SPACES REQUIRED

PARKING SHOWN: 75 SPACES

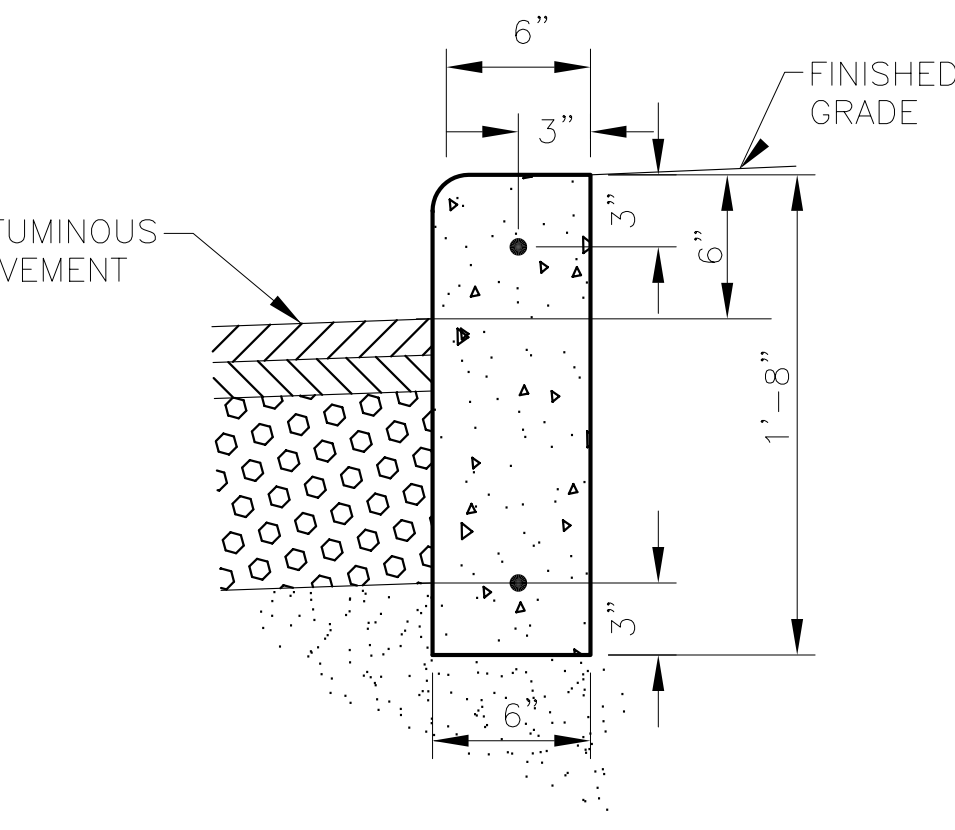
PARKING SIZE:
9'-0" x 18'-0" WITH 24'-0" AISLE
H.C. 9'-0" x 18'-0" WITH 9'-0" AISLE



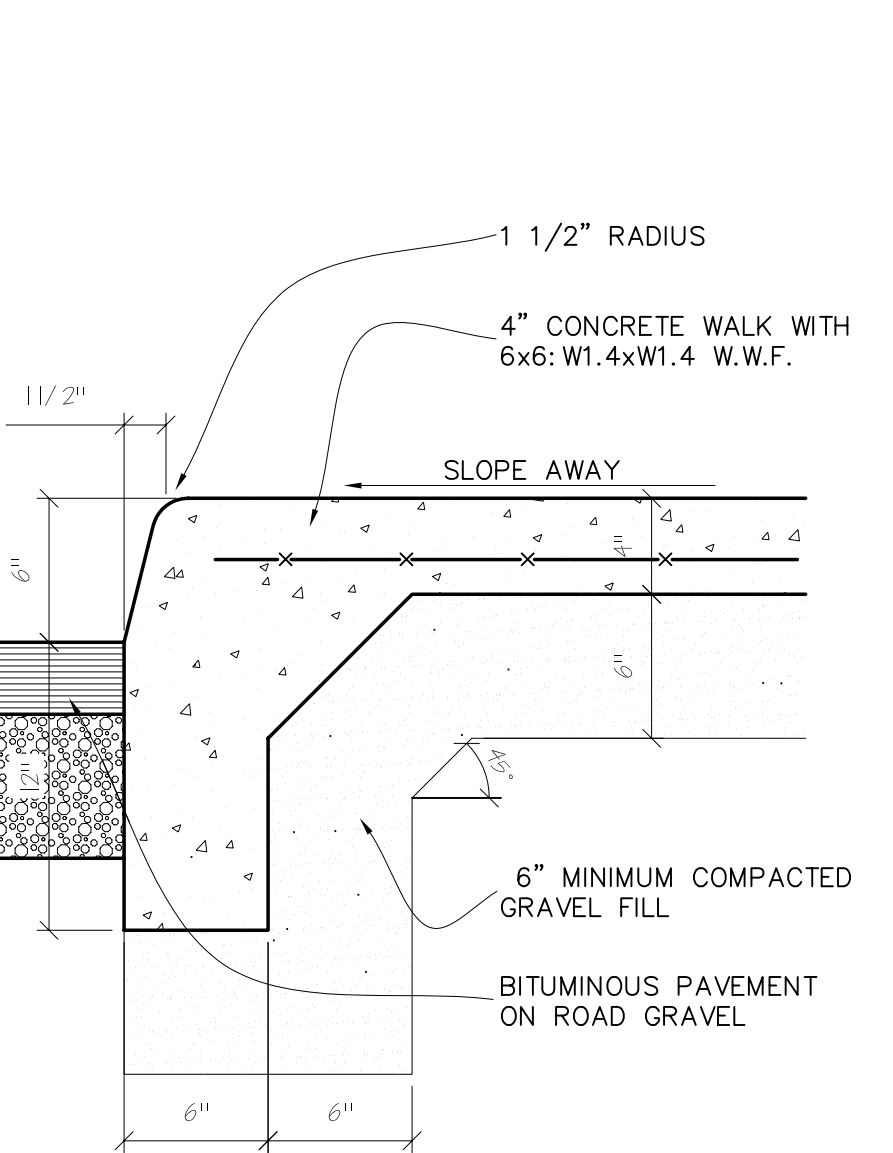
5 PARKING SPACE STRIPING DETAIL
NO SCALE



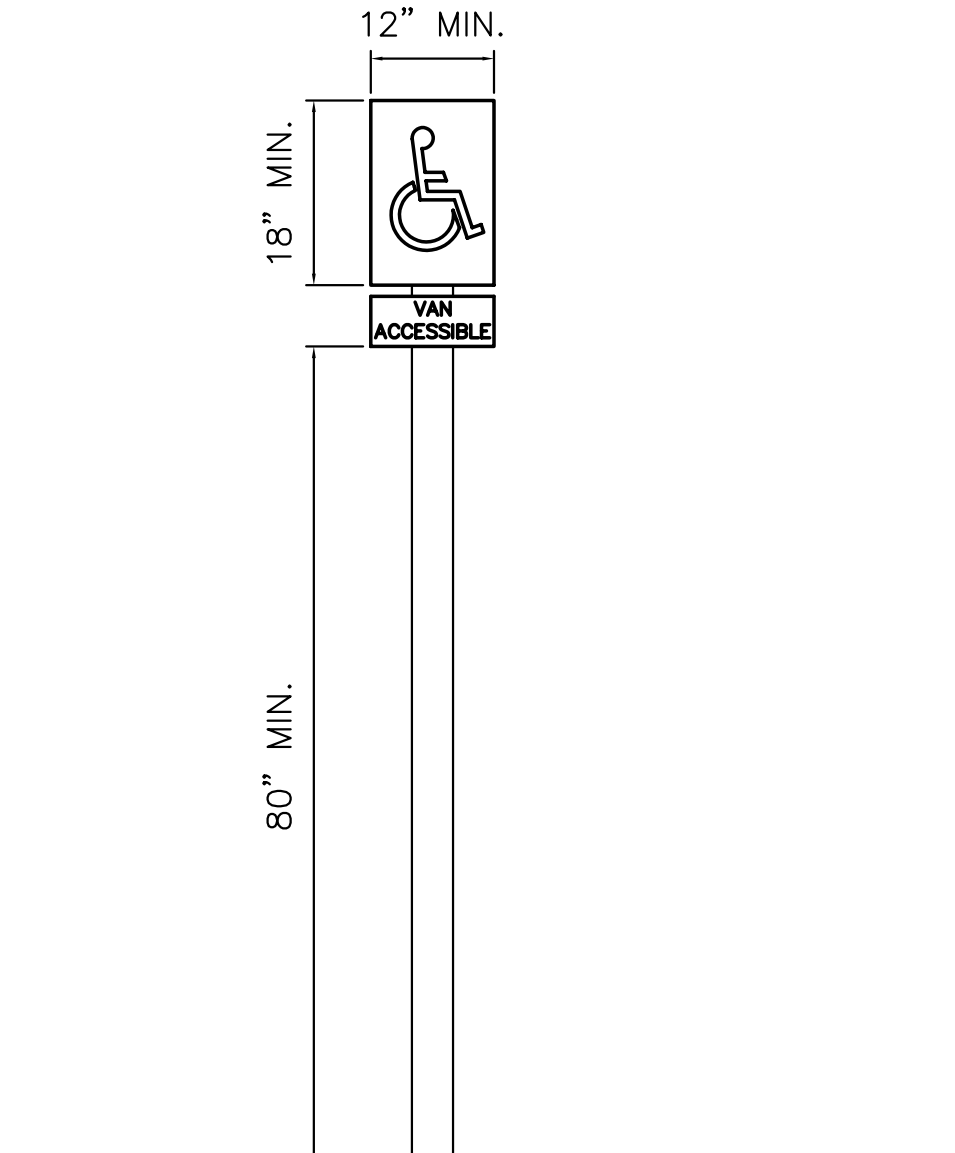
LOCATION MAP
NO SCALE



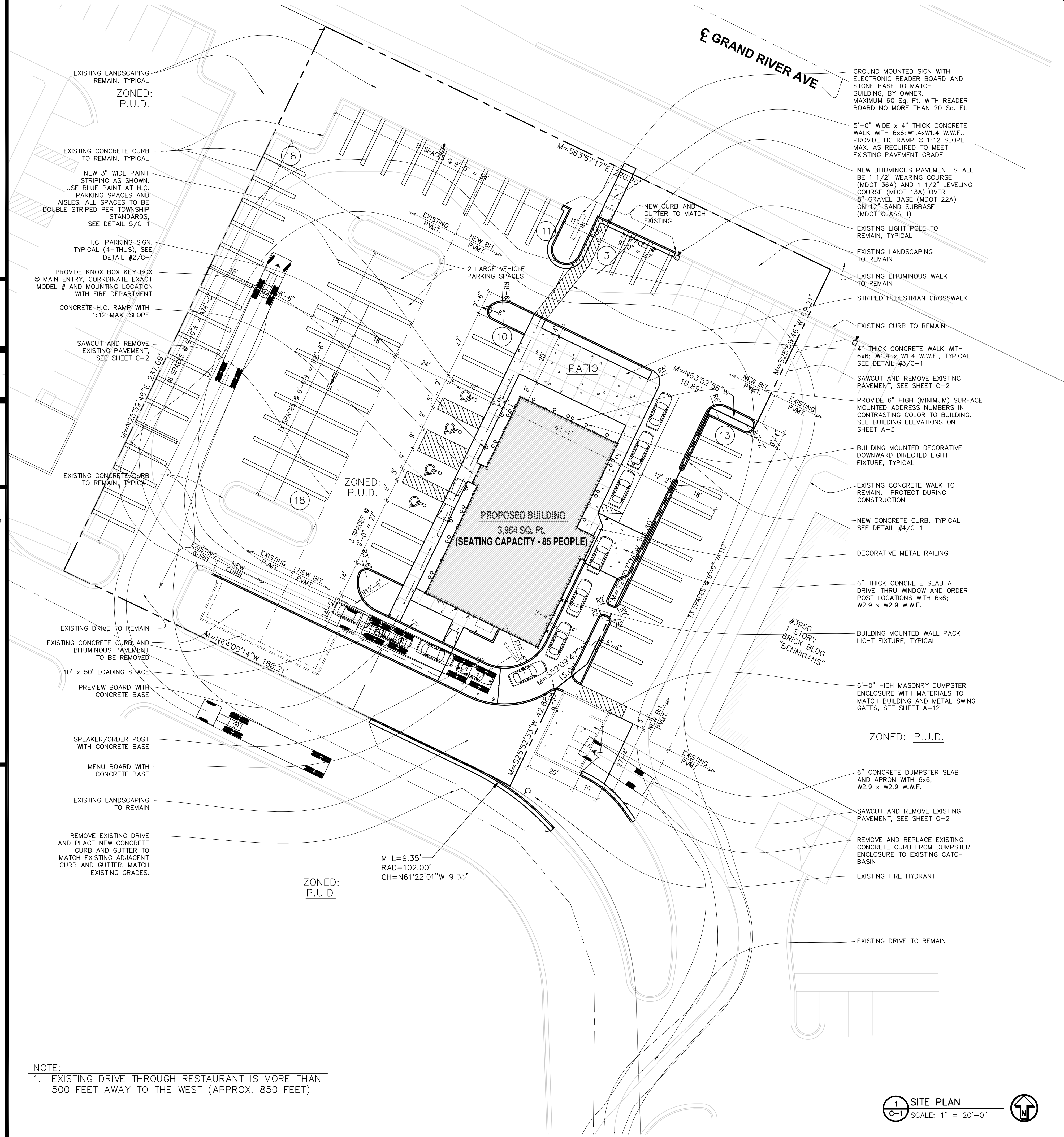
4 TYPICAL STRAIGHT CURB DETAIL
NO SCALE



3 TYPICAL WALK/CURB DETAIL
SCALE: 1 1/2" = 1'-0"



2 TYPICAL H.C. PARKING SIGN DETAIL
NO SCALE



NOTE:
1. EXISTING DRIVE THROUGH RESTAURANT IS MORE THAN 500 FEET AWAY TO THE WEST (APPROX. 850 FEET)

GROUND MOUNTED SIGN WITH ELECTRONIC READER BOARD AND STONE BASE TO MATCH BUILDING, BY OWNER. MAXIMUM 60 SQ. FT. WITH READER BOARD NO MORE THAN 20 SQ. FT.

5'-0" WIDE x 4" THICK CONCRETE WALK WITH 6x6: W1.4xW1.4 W.W.F.. PROVIDE HC RAMP @ 1:12 SLOPE MAX. AS REQUIRED TO MEET EXISTING PAVEMENT GRADE

NEW BITUMINOUS PAVEMENT SHALL BE 1 1/2" WEARING COURSE (MDOOT 36A) AND 1 1/2" LEVELING COURSE (MDOOT 13A) OVER 8" GRAVEL BASE (MDOOT 22A) ON 12" SAND SUBBASE (MDOOT CLASS II)

EXISTING LIGHT POLE TO REMAIN, TYPICAL

EXISTING LANDSCAPING TO REMAIN

EXISTING BITUMINOUS WALK TO REMAIN

STRIPED PEDESTRIAN CROSSWALK

EXISTING CURB TO REMAIN

4" THICK CONCRETE WALK WITH 6x6: W1.4 x W1.4 W.W.F., TYPICAL SEE DETAIL #3/C-1

SAWCUT AND REMOVE EXISTING PAVEMENT SEE SHEET C-2

PROVIDE 6" HIGH (MINIMUM) SURFACE MOUNTED ADDRESS NUMBERS IN CONTRASTING COLOR TO BUILDING. SEE BUILDING ELEVATIONS ON SHEET A-3

BUILDING MOUNTED DECORATIVE DOWNWARD DIRECTED LIGHT FIXTURE, TYPICAL

EXISTING CONCRETE WALK TO REMAIN. PROTECT DURING CONSTRUCTION

NEW CONCRETE CURB, TYPICAL SEE DETAIL #4/C-1

DECORATIVE METAL RAILING

6" THICK CONCRETE SLAB ON DRIVE-THRU WINDOW AND ORDER POST LOCATIONS WITH 6x6: W2.9 x W2.9 W.W.F.

BUILDING MOUNTED WALL PACK LIGHT FIXTURE, TYPICAL

6'-0" HIGH MASONRY DUMPSTER ENCLOSURE WITH MATERIALS TO MATCH BUILDING AND METAL SWING GATES. SEE SHEET A-12

6" CONCRETE DUMPSTER SLAB AND APRON WITH 6x6: W2.9 x W2.9 W.W.F.

SAWCUT AND REMOVE EXISTING PAVEMENT, SEE SHEET C-2

REMOVE AND REPLACE EXISTING CONCRETE CURB FROM DUMPSTER ENCLOSURE TO EXISTING CATCH BASIN

EXISTING FIRE HYDRANT

EXISTING DRIVE TO REMAIN

ZONED: P.U.D.

6" CONCRETE DUMPSTER SLAB AND APRON WITH 6x6: W2.9 x W2.9 W.W.F.

SAWCUT AND REMOVE EXISTING PAVEMENT, SEE SHEET C-2

REMOVE AND REPLACE EXISTING CONCRETE CURB FROM DUMPSTER ENCLOSURE TO EXISTING CATCH BASIN

EXISTING FIRE HYDRANT

EXISTING DRIVE TO REMAIN

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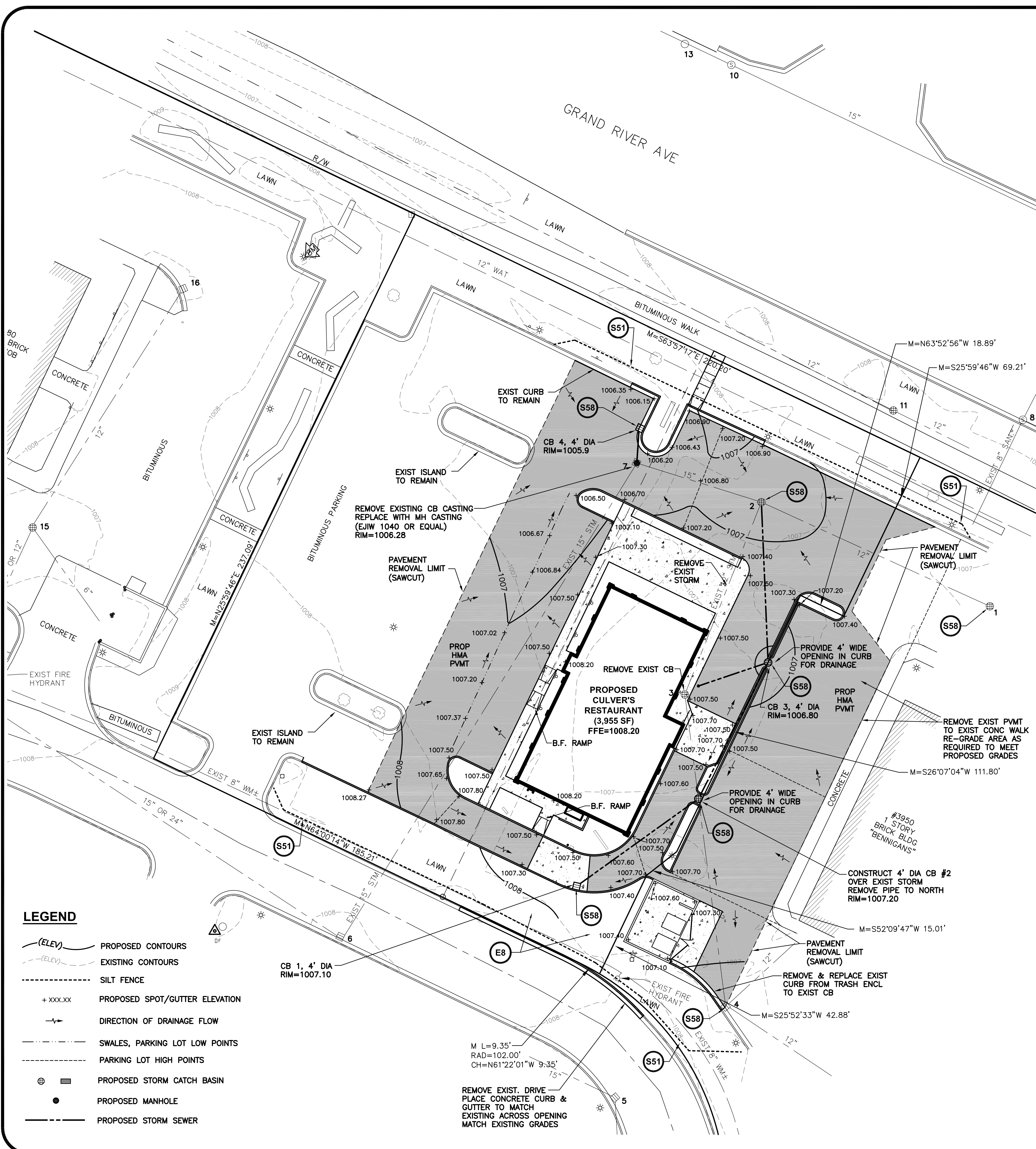
ARCHITECTURAL CONCEPTS
ARCHITECTURE PLANNING ENGINEERING
6650 CROSSING DRIVE, S.E. GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

Culver's RESTAURANT
540 Water Street
Prairie du Sac, WI 53578
608-643-7980

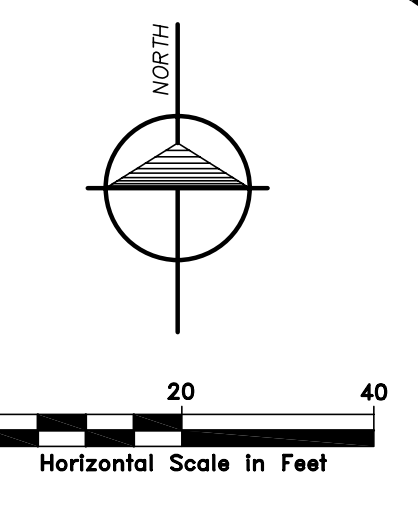
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11-21-2011	REVISED PER PLANNING COMM.

Sheet
C-1



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG
 1-800-482-7171 or 811



UTILITY STRUCTURE INVERTS

- | | | | |
|--|--|---|---|
| 1) ROUND CATCH BASIN
RIM=1006.61
12" W 1003.01 | 5) SQUARE CATCH BASIN
RIM=1007.19
15" W 1001.59
15" SE 1001.54 | 9) SANITARY MANHOLE
RIM=1006.96
8" S 1000.06
8" E 1000.46
15" W 1000.01 | 13) WATER MANHOLE?
RIM=1007.84
BOLTED SHUT |
| 2) ROUND CATCH BASIN
RIM=1006.32
12" E 1001.82
12" S 1001.32
15" W 1001.52 | 6) SQUARE CATCH BASIN
RIM=1007.69
24" W 1001.39 15"?
15" NE 1001.39 | 10) SANITARY MANHOLE
RIM=1007.73
15" E 999.48
15" W 999.38 | 14) SQUARE CATCH BASIN
RIM=1006.94
24" W 1000.74
15" N 1000.94 12"?
15" E 1000.94 24"?" |
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12" SE 1002.37 | 7) SQUARE CATCH BASIN
RIM=1006.00
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RIM=1008.09
12" E 1005.24
12" W 1005.24 | 15) ROUND CATCH BASIN
RIM=1006.34
12" N 1002.44
12" S 1002.39 15"?
6" PVS TO DUMPSTER |
| 4) SQUARE CATCH BASIN
RIM=1006.07
12" E 1002.57
12" NW 1002.57
12" N 1002.57 | 8) SANITARY MANHOLE
RIM=1007.65
8" N 1000.40
8" S 1000.50
8" E 1000.50 | 12) SANITARY MANHOLE
RIM=1008.22
15" E 998.22
15" W 998.02 | 16) SQUARE CATCH BASIN
RIM=1006.74
12" S 1002.99 |

SOIL EROSION NOTES

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, LIVINGSTON COUNTY & GENOA TOWNSHIP REQUIREMENTS.
- GRADING WILL BE LIMITED TO THE AREAS AS INDICATED ON THIS SHEET.
- CONTRACTOR SHALL BE REQUIRED TO PROVIDE CLEAN-UP OPERATIONS ALONG & ON THE ROADWAY AND ADJACENT PARKING AREAS WHERE DIRT AND/OR DEBRIS HAS BEEN DEPOSITED DUE TO CONSTRUCTION ACTIVITIES AND/OR RELATED WORK. AS A MINIMUM, CLEANUP WILL BE DONE ON A DAILY BASIS; ADDITIONAL CLEANUP WILL BE PERFORMED AS DEEMED NECESSARY BY THE LIVINGSTON COUNTY AND/OR GENOA TOWNSHIP PERSONNEL.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDING WITH PERMANENT SEED MIXTURE WITHIN 5 CALENDAR DAYS OF ACHIEVING FINAL GRADE.
- ALL SLOPES GREATER THAN 4:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN DS-150 EROSION CONTROL BLANKET OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. BLANKETS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO BE CHECKED DAILY AND ANY PROBLEMS REMEDIATED IMMEDIATELY.
- PERMANENT EROSION CONTROL MEASURES TO BE MAINTAINED BY PROPERTY OWNER. MAINTENANCE INCLUDES REGULAR INSPECTION, ENSURING VEGETATION IS ADEQUATE ON ALL SLOPES, AND COMPLETING NECESSARY MAINTENANCE ON THE STORM SYSTEM.

SESC SCHEDULE

- INSTALL FILTER SOCK & INLET PROTECTION AS SHOWN. MAINTAIN SILT FILTER SOCK AND INLET PROTECTION BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THEIR HEIGHT.
- PERMANENT CONTROL MEASURES MUST BE COMPLETED 5 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING, AS INDICATED IN THESE PLANS.
- FOR ANY AREAS TO BE SEEDING, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
- REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.

GENERAL NOTES

- EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA.
- EXISTING SITE CONSISTS OF PAVED PARKING AREAS. THE LIVINGSTON COUNTY SOIL SURVEY INDICATES UNDERLYING SOILS TO CONSIST OF CONOVER LOAM AND MIAMI LOAM.
- EXISTING IMPERVIOUS SURFACE AREA (WITHIN PROPOSED PROPERTY) = 38,533 S.F.
PROPOSED IMPERVIOUS AREA (WITHIN PROPOSED PROPERTY) = 36,132 S.F.
PROPOSED SITE IMPROVEMENTS RESULT IN A NET DECREASE OF IMPERVIOUS SURFACE.
- ALL CONSTRUCTION METHODS & MATERIALS SHALL COMPLY WITH GENOA TOWNSHIP REQUIREMENTS AND SPECIFICATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE STAKED AND GRADED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
- ALL RUNOFF FROM PROPOSED BUILDING ROOF SHALL BE CONNECTED TO THE PROPOSED STORM SEWER AS INDICATED.
- STORM SEWER PIPE TO BE SLOPP HANCOR MEGA GREEN ST-18 (OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY PROVIDERS PRIOR TO BEGINNING CONSTRUCTION.
- STORMWATER WILL BE COLLECTED IN A COLLECTION SYSTEM AND WILL DISCHARGE THROUGH THE EXISTING SITE OUTLET TO THE PRIVATE DRIVE ALONG THE SOUTH PROPERTY LINE.
- A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONTRACTED TO MONITOR EARTHWORK & PAVING ACTIVITIES.
- GREASE INTERCEPTOR TO BE 1000 GALLON, HEAVY DUTY, THREE COMPARTMENT TANK. TANK OPENINGS SHALL BE H20 RATED AND SHALL BE GAS TIGHT. A ZABEL A300-8 SERIES EFFLUENT FILTER SHALL BE PLACED ON OUTLET PIPE.
- CONTRACTOR SHALL MAINTAIN CERTIFICATION OF ALL MATERIALS USED ON THE PROJECT. COPIES OF THE CERTIFICATION SHALL BE AVAILABLE UPON REQUEST.
- WHERE UNSUITABLE MATERIAL IS ENCOUNTERED, IT SHALL BE UNDERCUT TO SUITABLE MATERIALS. BACKFILL SHALL MEET GRANULAR MATERIAL CLASS II REQUIREMENTS.

LEGEND

- (ELEV) PROPOSED CONTOURS
- (ELEV) EXISTING CONTOURS
- - - SILT FENCE
- + xxx.xx PROPOSED SPOT/GUTTER ELEVATION
- DIRECTION OF DRAINAGE FLOW
- SWALES, PARKING LOT LOW POINTS
- PARKING LOT HIGH POINTS
- ⊕ PROPOSED STORM CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED STORM SEWER

**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET
 S-E-S-C KEYING SYSTEM**

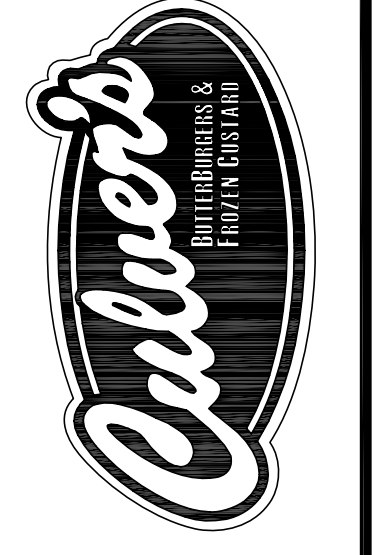
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION / SEDIMENT CONTROLS			
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

SITE GRADING & EROSION CONTROL PLAN

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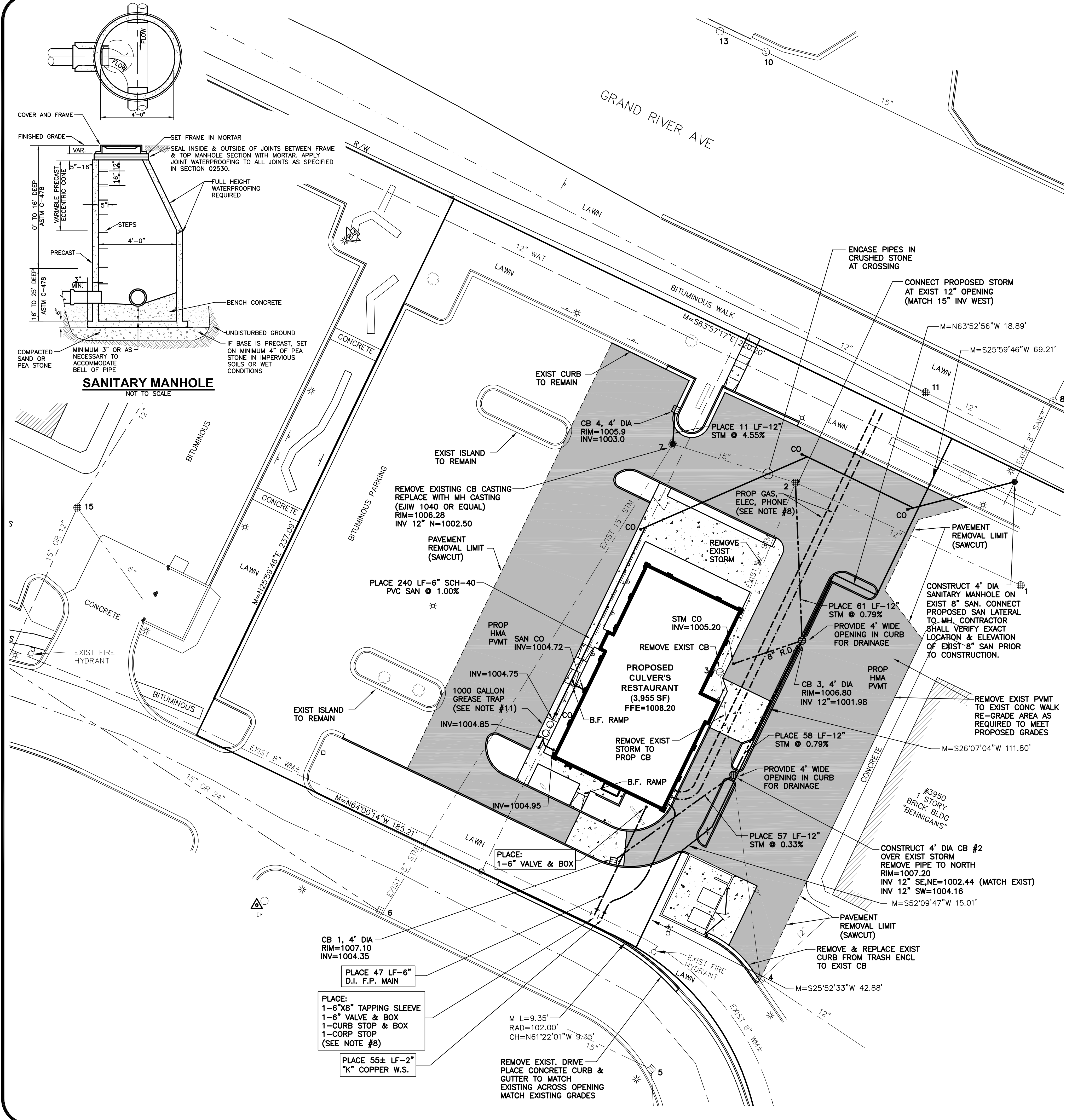
Williams & Works
 engineers, planners, surveyors
 616.224.1500 phone · 616.224.1501 facsimile
 549 Ottawa Ave NW · Grand Rapids, MI 49503
 W&W JOB#: 211093

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 540 Water Street
 Prairie du Sac, WI 53578
 608-643-7980



**CULVER'S RESTAURANT
 GRAND RIVER AVENUE
 GENOA TOWNSHIP, MI**

Date	Revision
8-31-11	FOR SITE PLAN APPROVAL
9-21-11	REVISED PER TWP REVIEW
10-26-11	REV. PER PLANNING COMM.
11-21-11	REV. PER PLANNING COMM.



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 or 811

PRELIMINARY - NOT FOR CONSTRUCTION

CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

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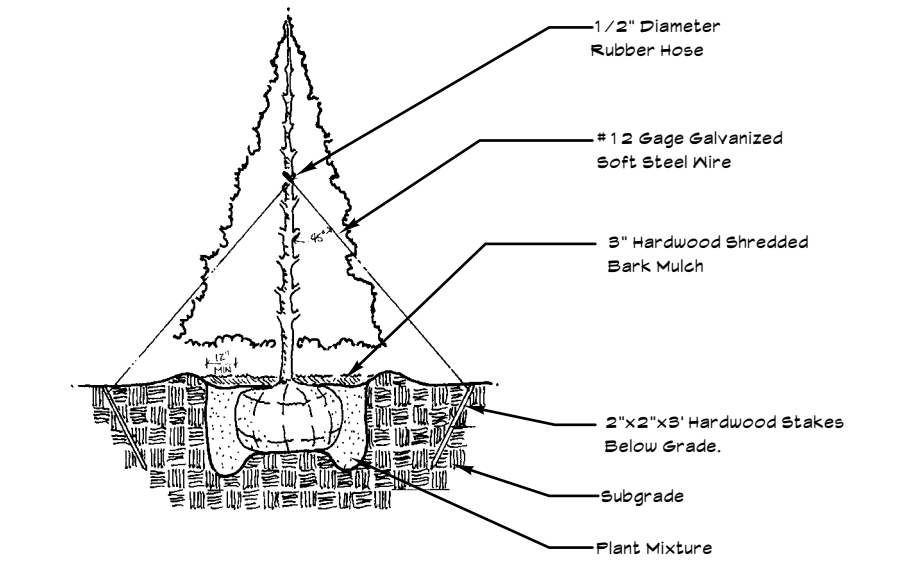
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11-21-11	REV. PER PLANNING COMM.

Date: _____ Sheet: **C-3**

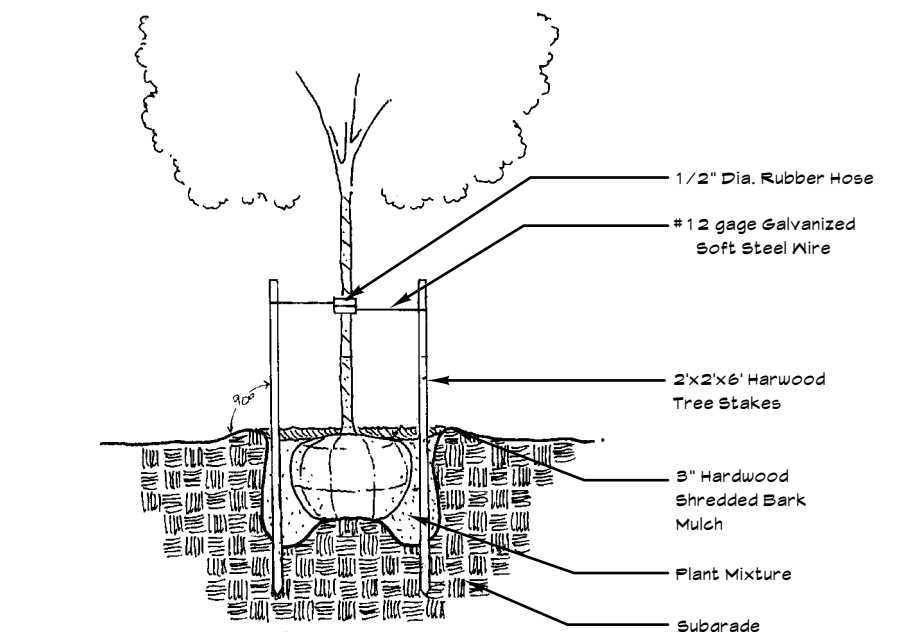
THE CONTRACTOR IS CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT RELIED ON TO BE EXACT OR COMPLETE. FOR PROTECTION OF UNDERGROUND UTILITIES, AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL CALL TOLL FREE 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE THUS ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR FROM NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" SYSTEM. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

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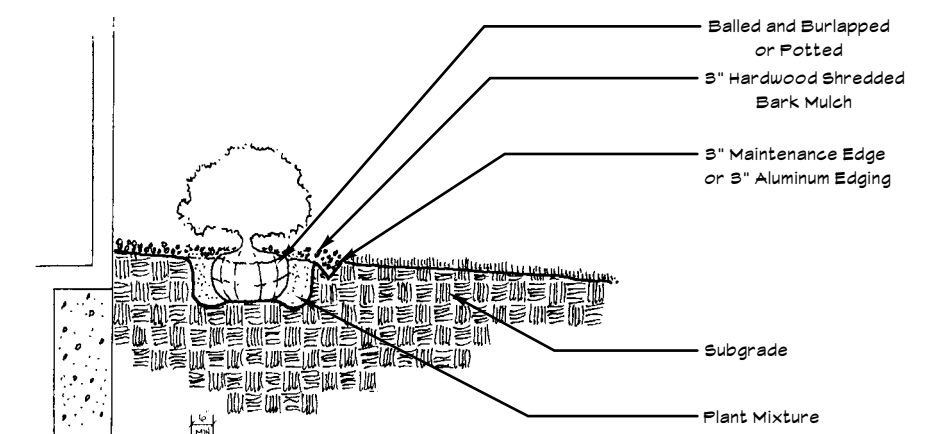
Culver's
Culver Franchising System, Inc.
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Prairie du Sac, WI 53578
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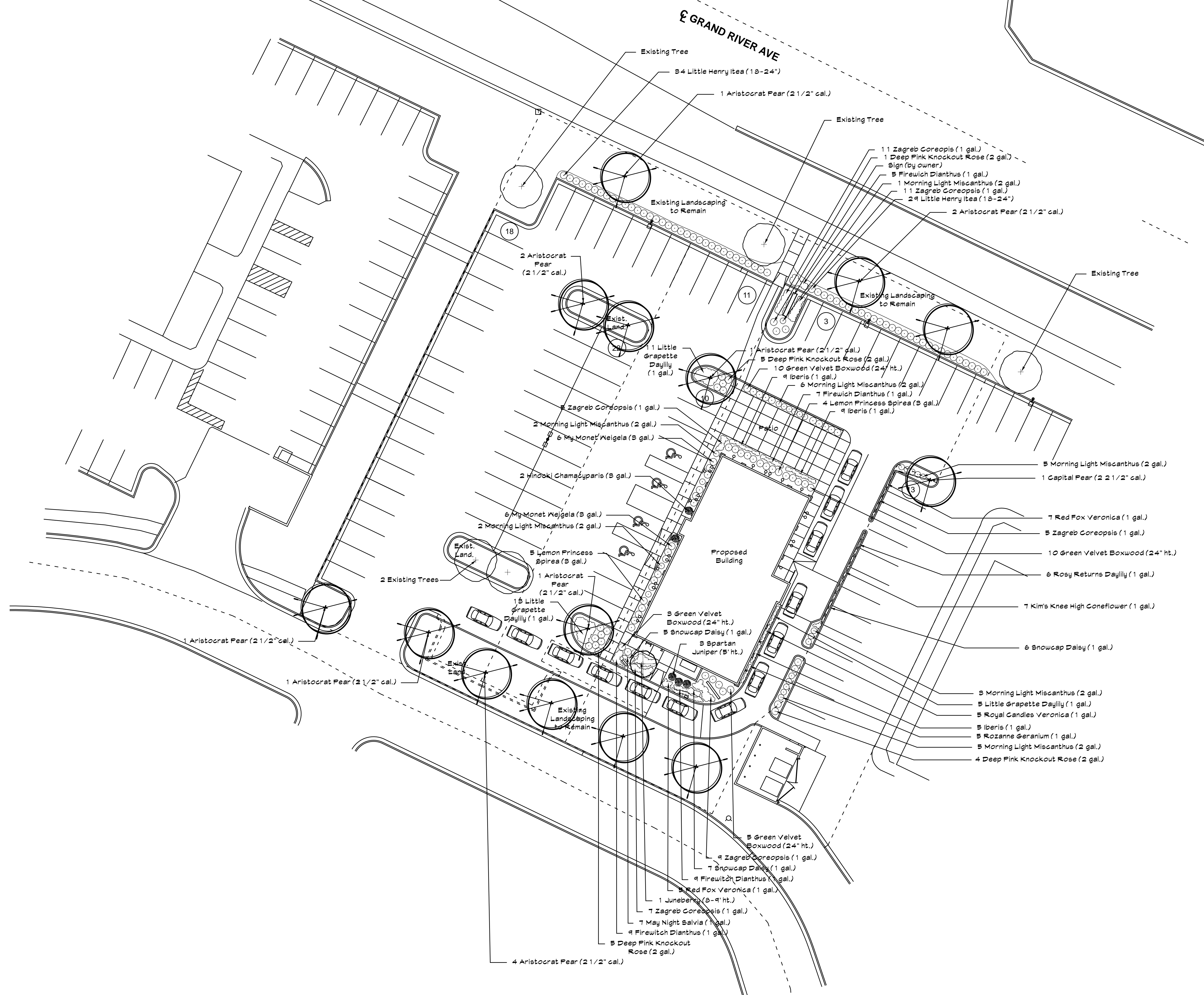
Evergreen Planting Detail-5' and Taller (as needed)



Deciduous Trees 5\"/>



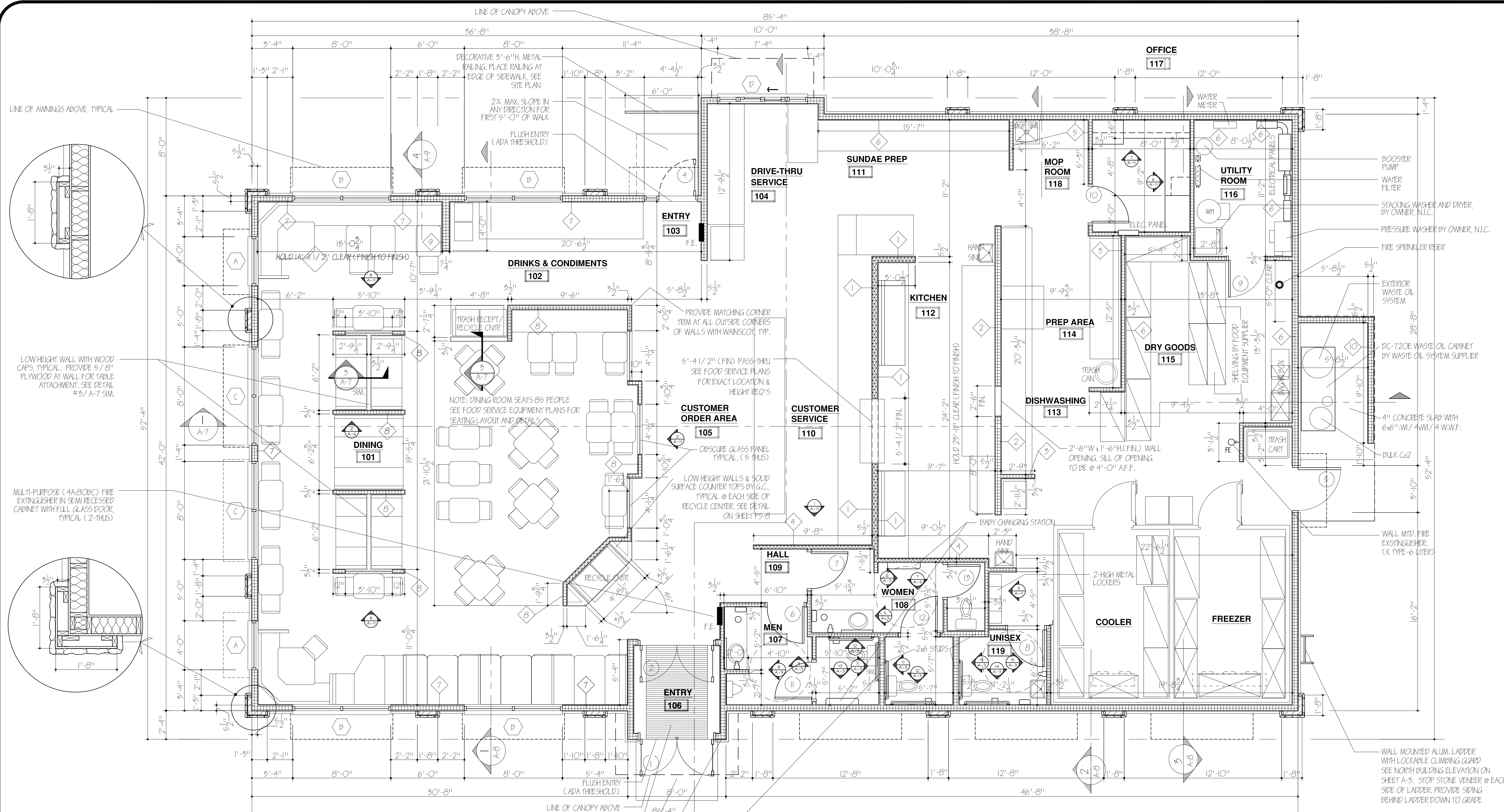
Shrub Planting Detail



Notes:

- All landscaping to be installed by a qualified Landscape Contractor. No substitutions without prior authorization from Landscape Architect.
- All plantings, including trees in lawn areas shall be mulched with 3\"/>

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FLOOR PLAN - METRO Ma-5 PROTOTYPE
SCALE: 1/4" = 1'-0"

3,954 Square Feet

WALL TYPES

- 1 5 1/2" STEEL STUDS WITH 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
- 2 5 1/2" WOOD STUDS WITH 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 5/8" PLYWOOD FROM 12" A.F.F. TO 6" ABOVE CEILING.
- 3 3 1/2" WOOD STUDS WITH 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 5/8" PLYWOOD FROM 12" A.F.F. TO 6" ABOVE CEILING.
- 4 3 1/2" STEEL STUDS WITH 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 5/8" PLYWOOD FROM 12" TO 6" ABOVE CEILING.
- 5 5/8" PLYWOOD FULL HEIGHT.
- 6 5/8" PLYWOOD IN LIEU OF GYPSUM BOARD FROM 4'-0" TO 8'-0" ABOVE FLOOR.
- 7 5 1/2" WOOD STUDS WITH 5/8" PLYWOOD FROM FLOOR TO TOP OF WAINSCOT, GUAID AND SCREWED.
- 8 3 1/2" WOOD STUDS WITH 5/8" DRYWALL FROM FLOOR TO 6" ABOVE CEILING.
- 9 7 1/4" WOOD STUDS WITH 5/8" DRYWALL FROM FLOOR TO 6" ABOVE CEILING.
- 10 5 1/2" WOOD STUDS WITH 1/2" PLYWOOD TO 8'-0" A.F.F.

NOTES:

1. SEE SITE PLAN FOR ALL CONC. SIDEWALKS, CURBS, DRIVE THRU MENU BOARD & SPEAKER POST, GROUND MTD. SIGNAGE LOCATIONS, ETC.
2. SEE FOOD SERVICE DRAWINGS FOR ALL EQUIPMENT & FURNISHINGS.
3. ALL FOOD SERVICE EQUIPMENT TO BE PROVIDED AND INSTALLED BY OWNER, N.I.C.
4. ALL BUILDING MOUNTED AWNINGS TO BE PROVIDED AND INSTALLED BY OWNER, N.I.C.
5. ALL STAINLESS STEEL WALL PANELS TO BE PROVIDED AND INSTALLED BY OWNER, N.I.C.
6. ALL EXTERIOR BUILDING MOUNTED & FREE STANDING SIGNAGE TO BE PROVIDED AND INSTALLED BY OWNER, N.I.C. ELECTRICAL CONTRACTOR TO PROVIDE ELECTRIC SERVICE AS REQUIRED, VERIFY EXACT REQUIREMENTS WITH OWNERS SIGN CONTRACTOR.
7. ALL CABINETS, COUNTERS & TRASH CONTAINERS @ CUSTOMER SERVICE, DRIVE-THRU AND CONDIMENT AREAS TO BE PROVIDED AND INSTALLED BY OWNER, N.I.C.
8. BUILDING SHALL BE FULLY SPRINKLED. SPRINKLER CONTRACTOR SHALL DESIGN & INSTALL WET SPRINKLER SYSTEM THROUGH OUT BUILDING IN COMPLIANCE WITH NFPA-13. CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS FOR REVIEW AND APPROVAL BY FIRE DEPARTMENT AND LOCAL MUNICIPALITY. NOTE: SPRINKLER HEADS IN THE DRY GOODS ROOM #115 TO BE CONCEALED HEADS.
9. PROVIDE AND INSTALL FIRE ALARM SYSTEM THROUGH OUT BUILDING. ALARM CONTRACTOR SHALL DESIGN SYSTEM AND SUBMIT DRAWINGS FOR REVIEW AND APPROVAL BY FIRE DEPARTMENT AND LOCAL MUNICIPALITY.

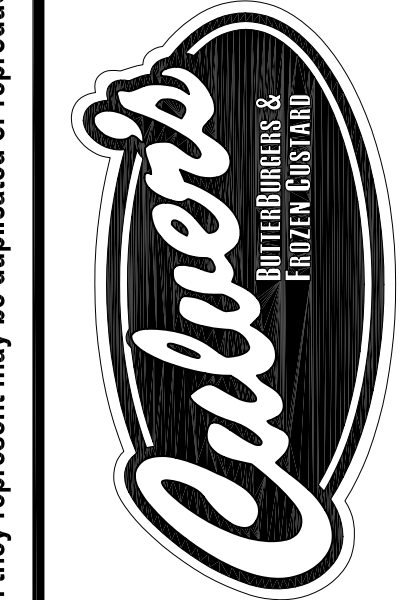
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Sheet
A-2
 of Twelve



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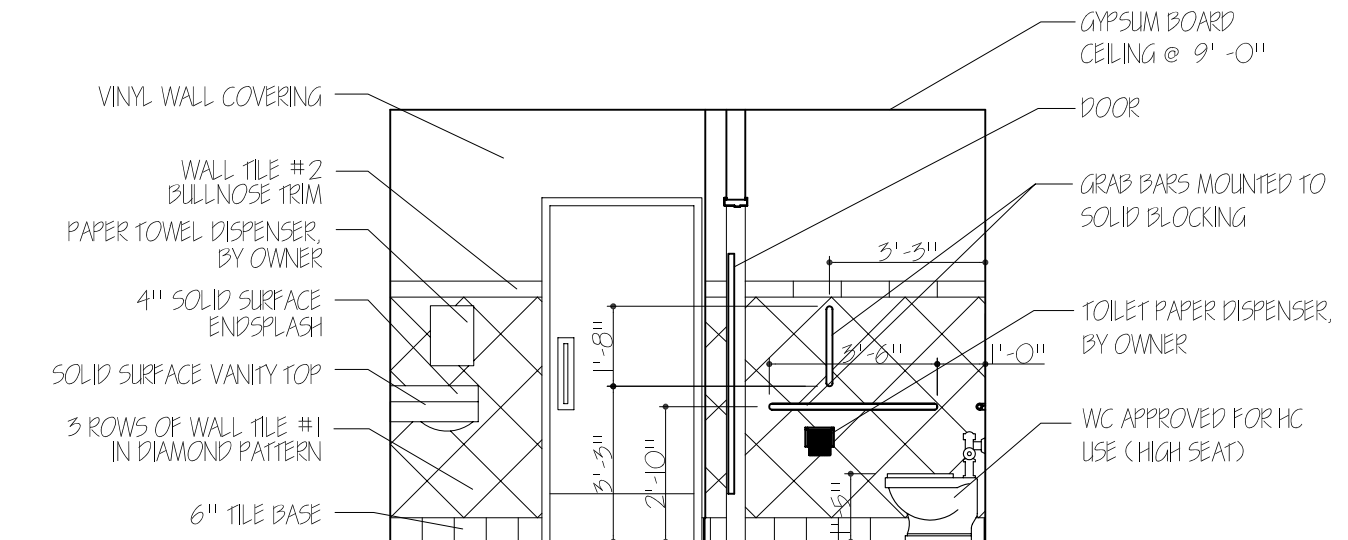


CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

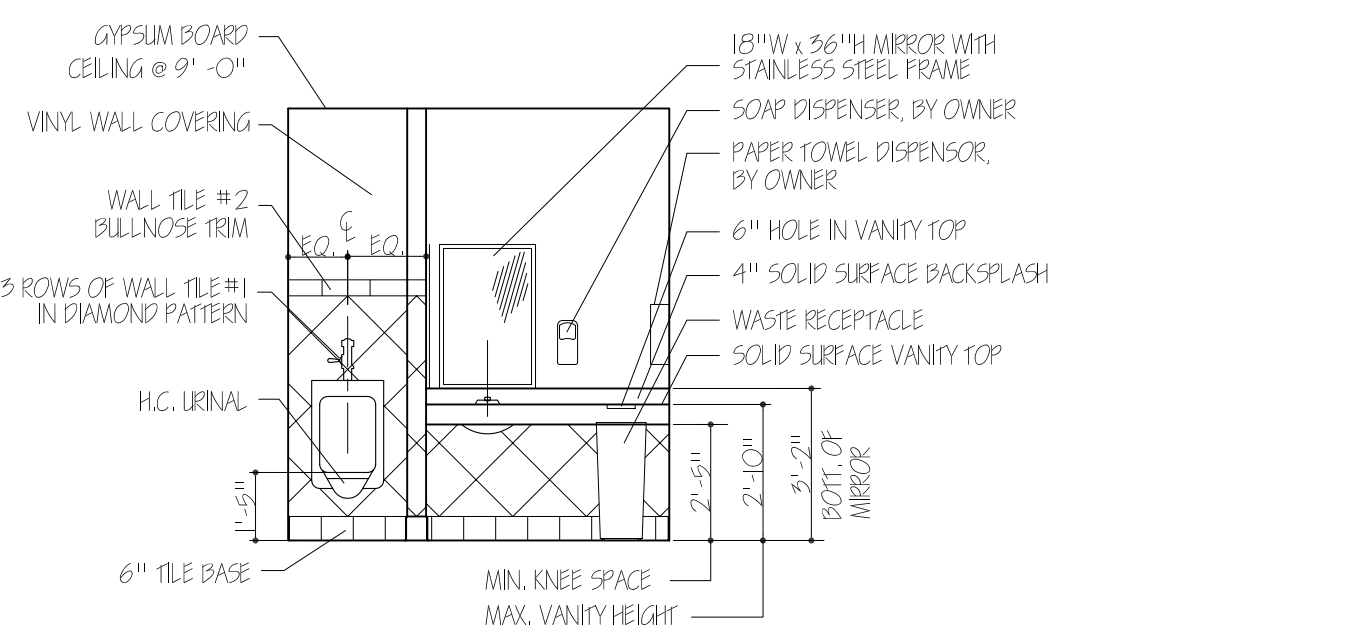
RESTROOM ACCESSORIES - MENS, WOMENS & EMPLOYEES RESTROOMS	RESTROOM ACCESSORIES - WOMEN'S ONLY
Grab Bars 5/5 1 1/2" Dia. Bridick Washroom Equipment P-6806	Baby Changing Station Bridick Washroom Equipment K8100-00 Cream
5/5 Waste Receptacle 2 gallon Bridick Washroom Equipment Under Counter P-2250	Mirrors with 5/5 Frames @ Toilet Room Bridick Washroom Equipment #B-169 or equal
Toilet partition doors shall have locked enamel finish. Haddon #617 "Mickie Blue". Provide cast hook at each stall door.	The OWNER will provide paper towel dispensers, soap and sanitizer dispensers and toilet paper dispensers. The GENERAL CONTRACTOR will install all restroom accessories.

NOTE:
SEE SHEET A-6 FOR FINISH MATERIALS INFORMATION

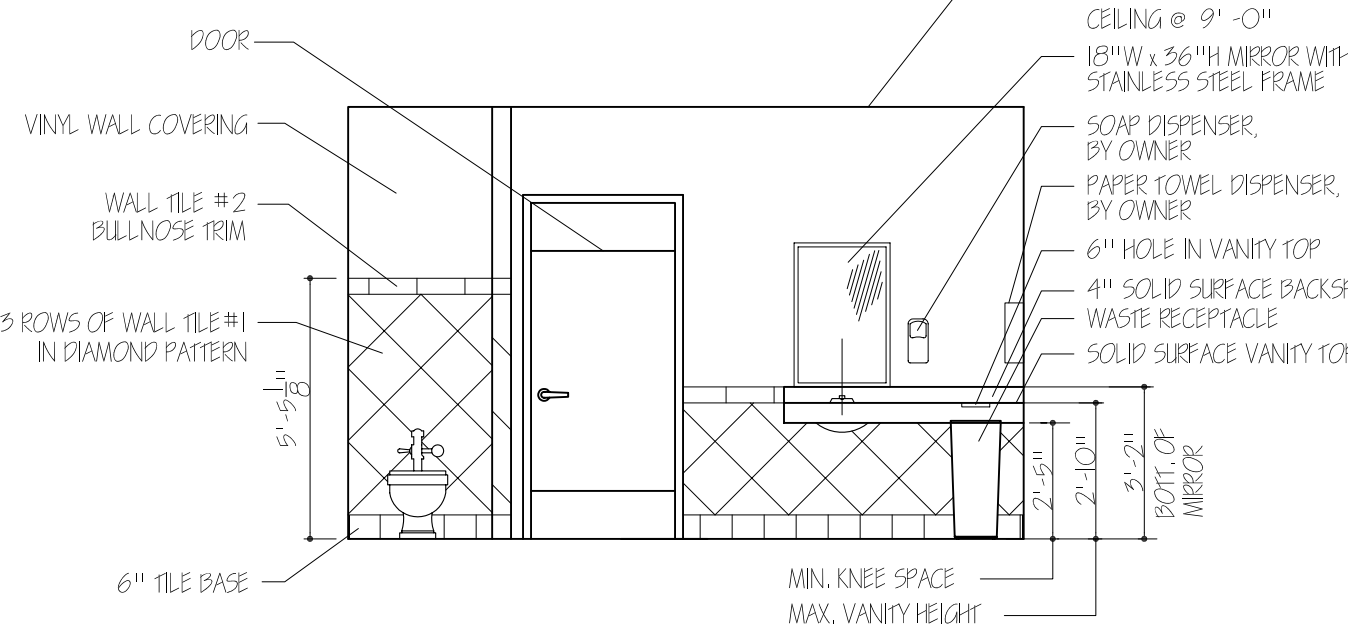
NOTE:
ALL TOILET ROOM WALLS TO BE FULL HEIGHT WALLS TO ROOF STRUCTURE ABOVE WITH SOUND BATT INSULATION, TYPICAL



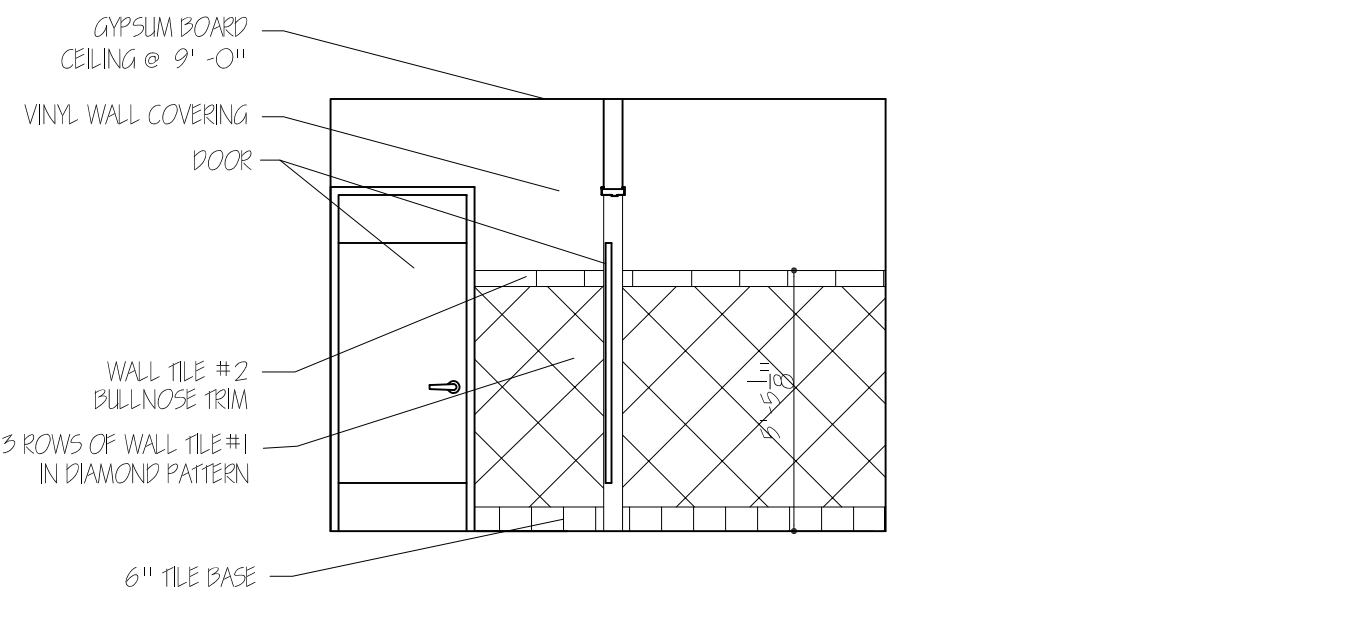
9 MENS #107-EAST WALL
SCALE: 1/4" = 1'-0"



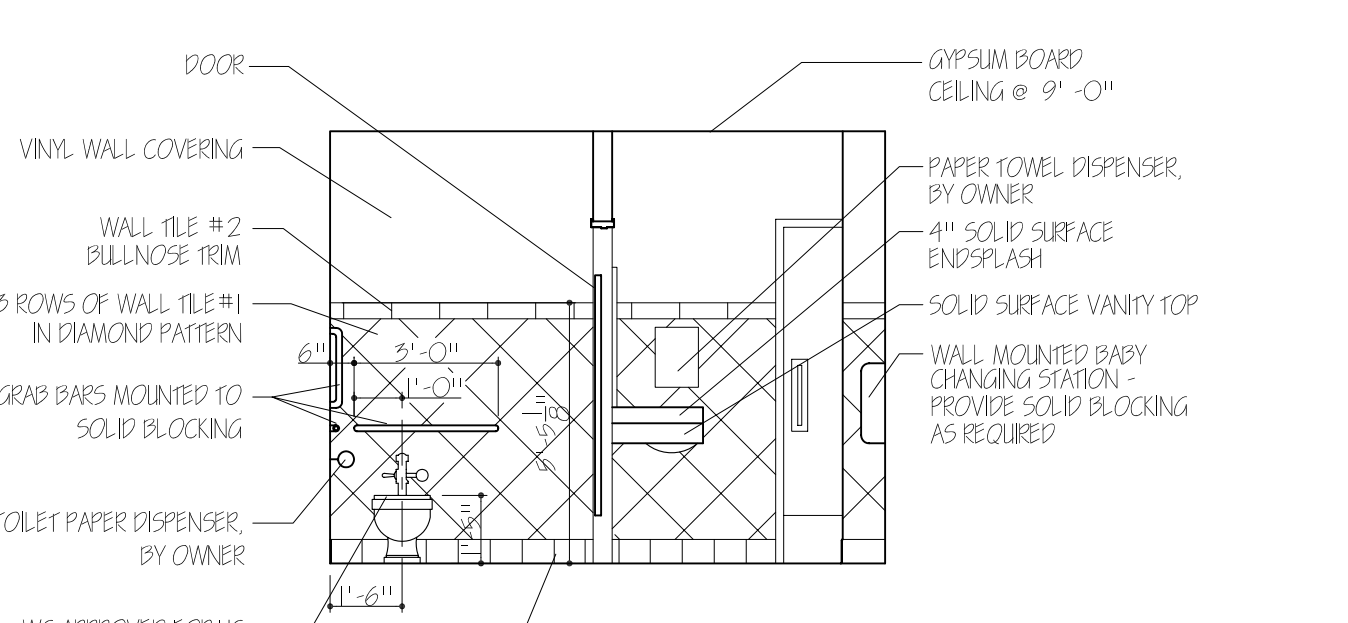
8 MENS #107-NORTH WALL
SCALE: 1/4" = 1'-0"



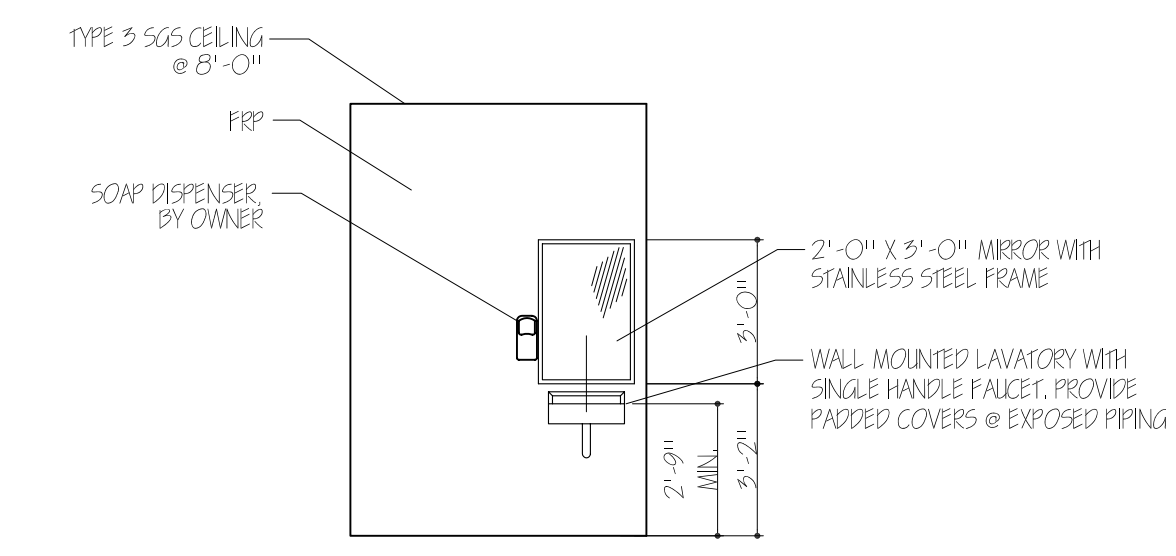
7 WOMENS #108-WEST WALL
SCALE: 1/4" = 1'-0"



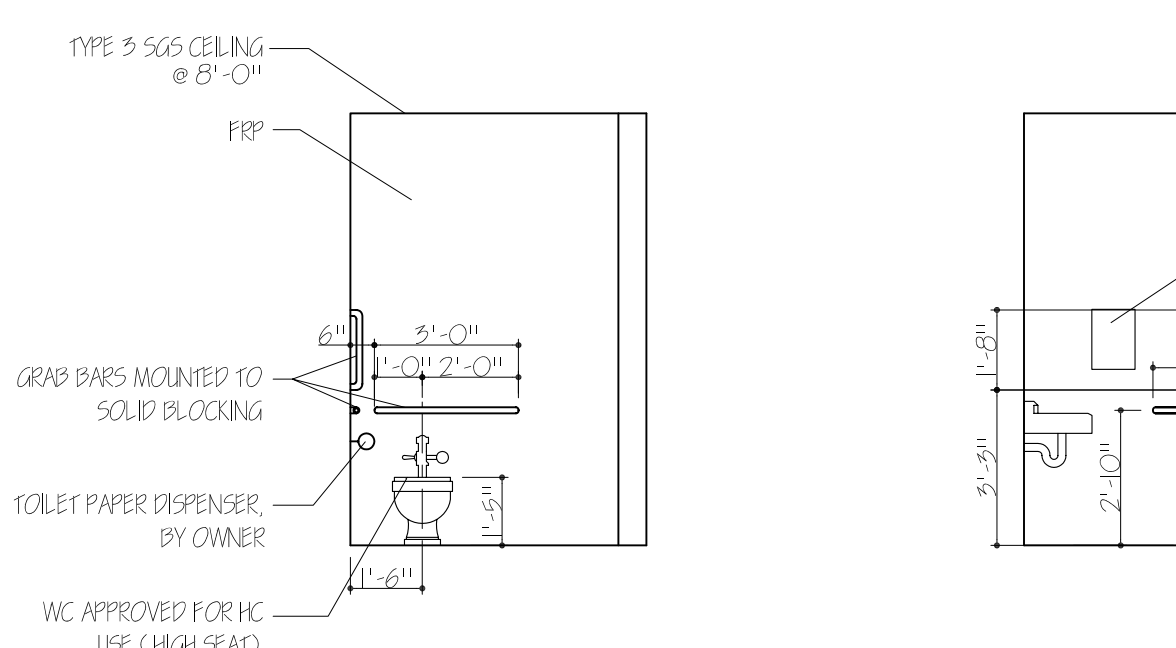
6 WOMENS #108-SOUTH WALL
SCALE: 1/4" = 1'-0"



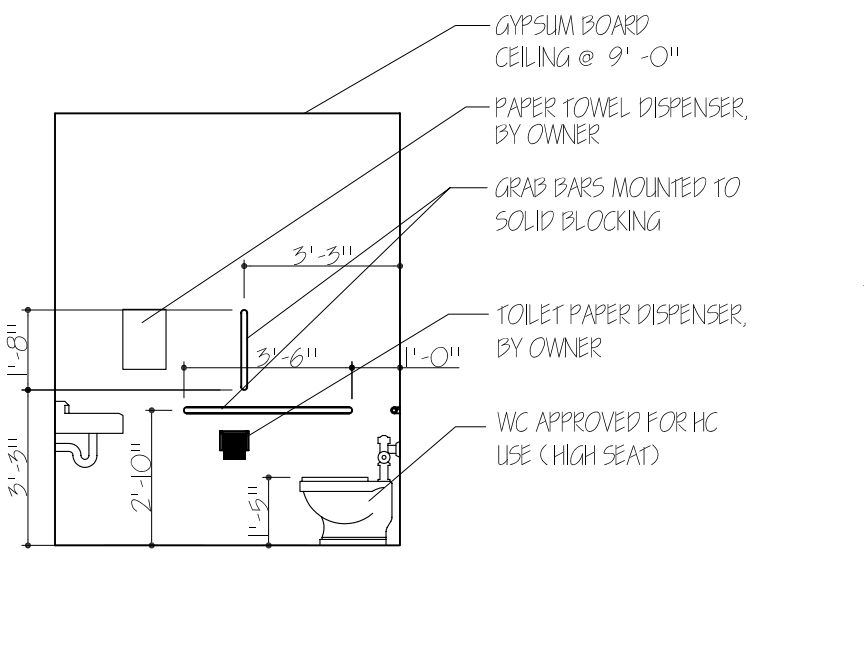
5 WOMENS #108-NORTH WALL
SCALE: 1/4" = 1'-0"



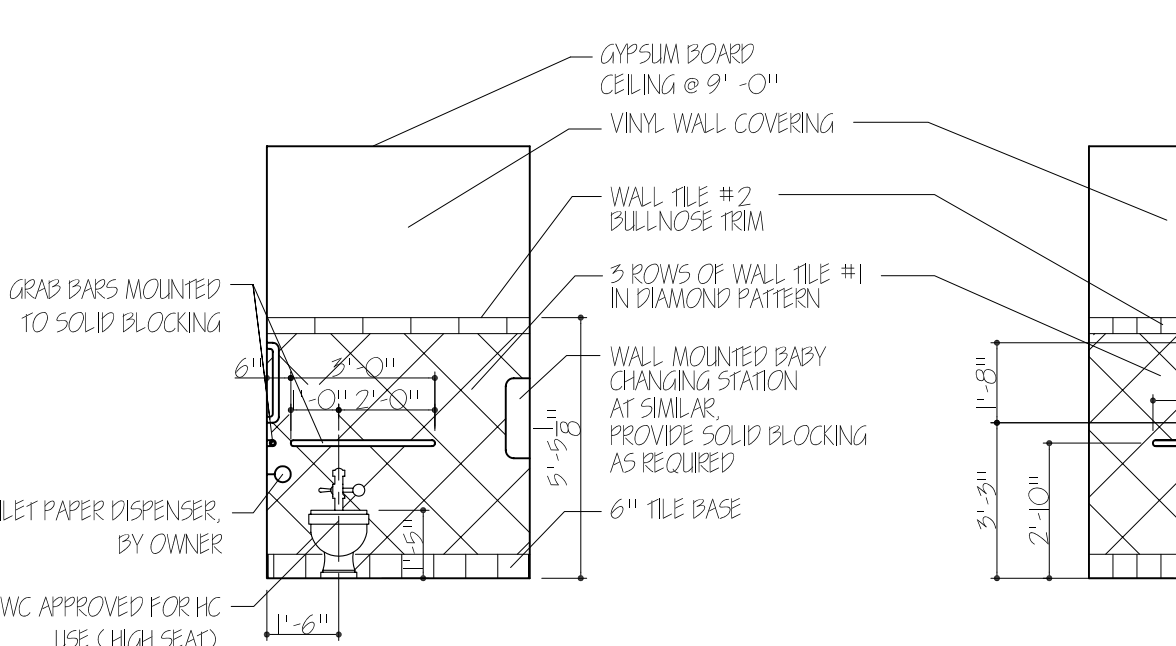
15 UNISEX #119-SOUTH WALL
SCALE: 1/4" = 1'-0"



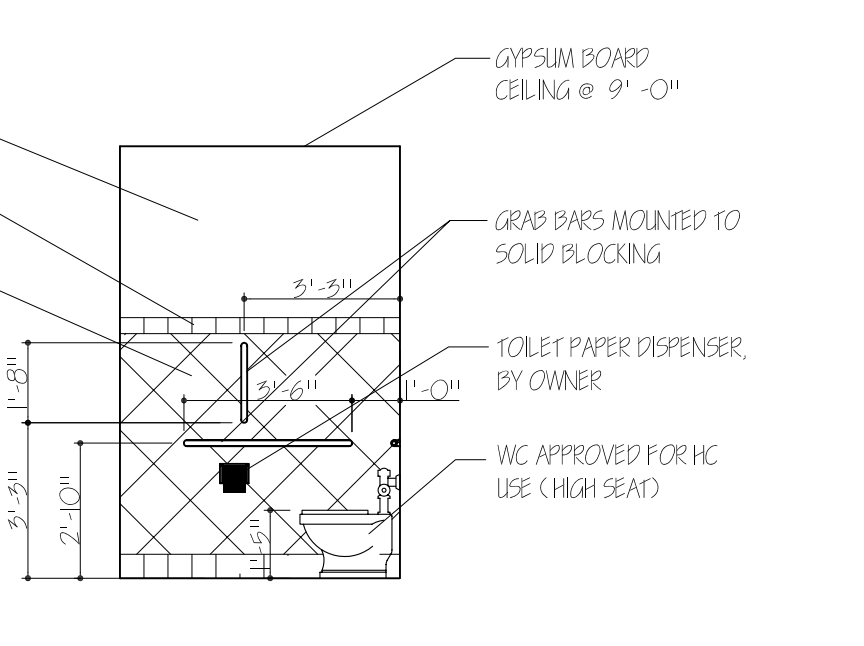
13 UNISEX #119-NORTH WALL
SCALE: 1/4" = 1'-0"



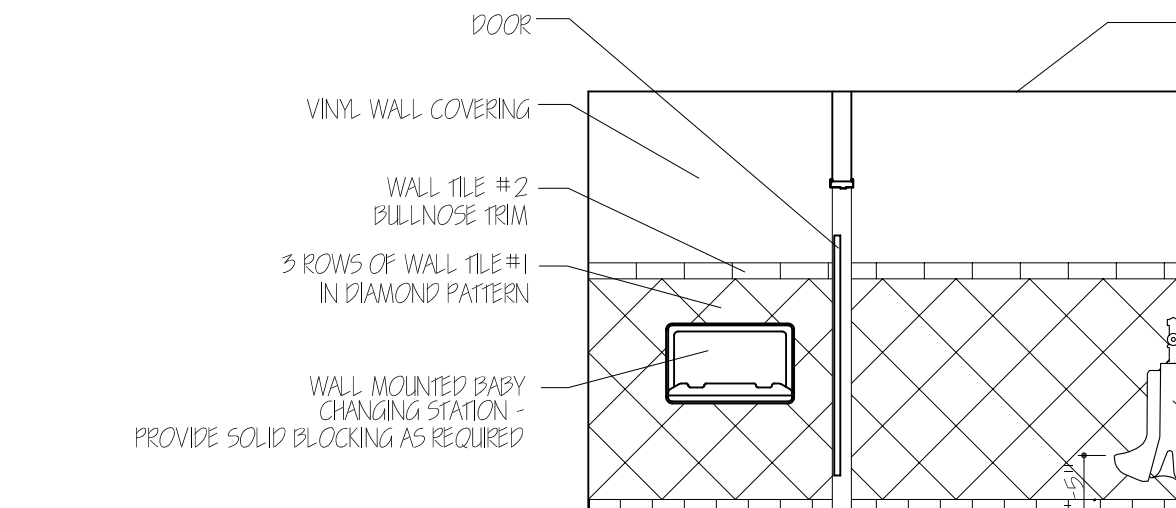
14 UNISEX #119-WEST WALL
SCALE: 1/4" = 1'-0"



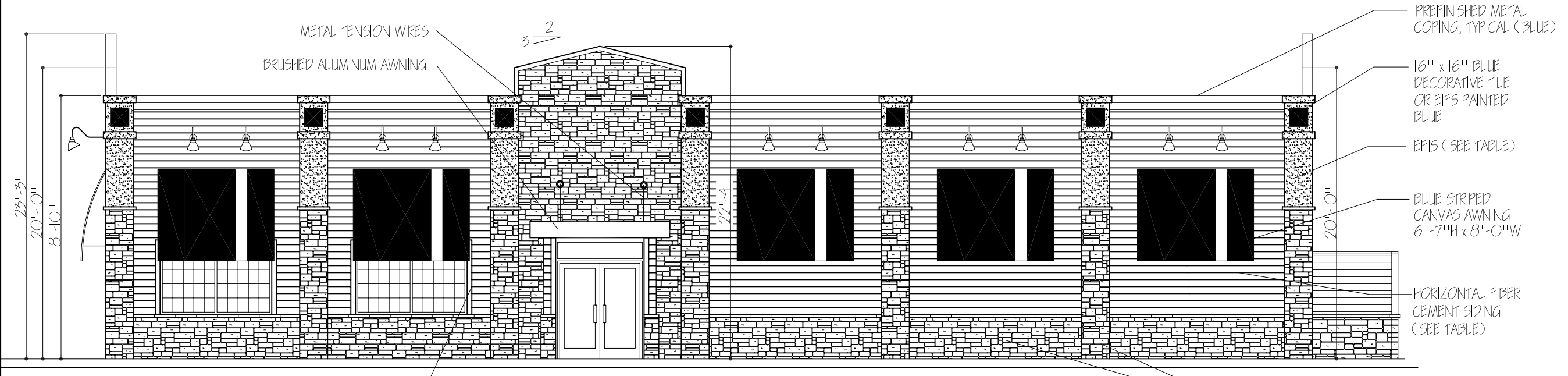
11 TYPICAL H.C. STALL
SCALE: 1/4" = 1'-0"



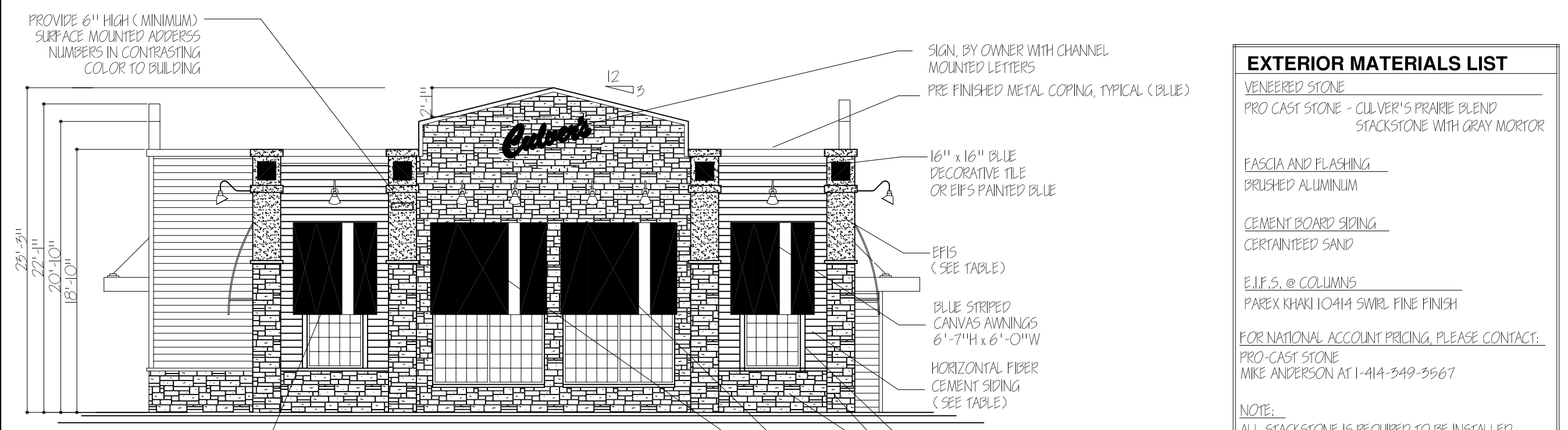
12 TYPICAL H.C. STALL
SCALE: 1/4" = 1'-0"



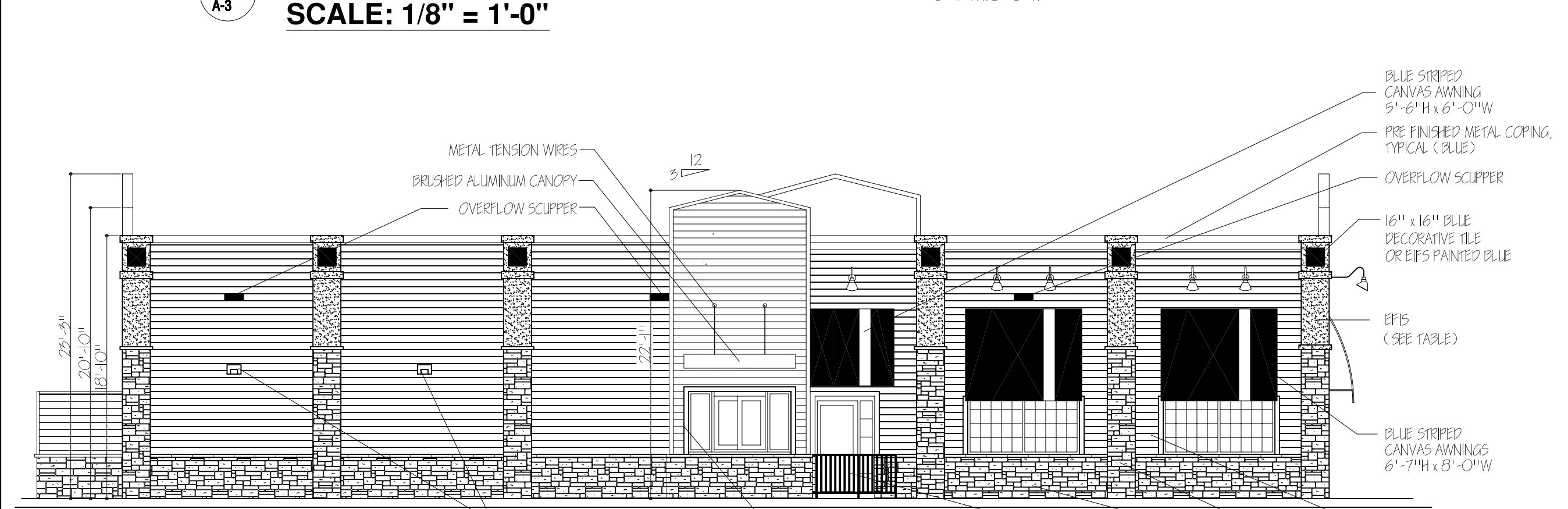
10 MENS #107-WEST WALL
SCALE: 1/4" = 1'-0"



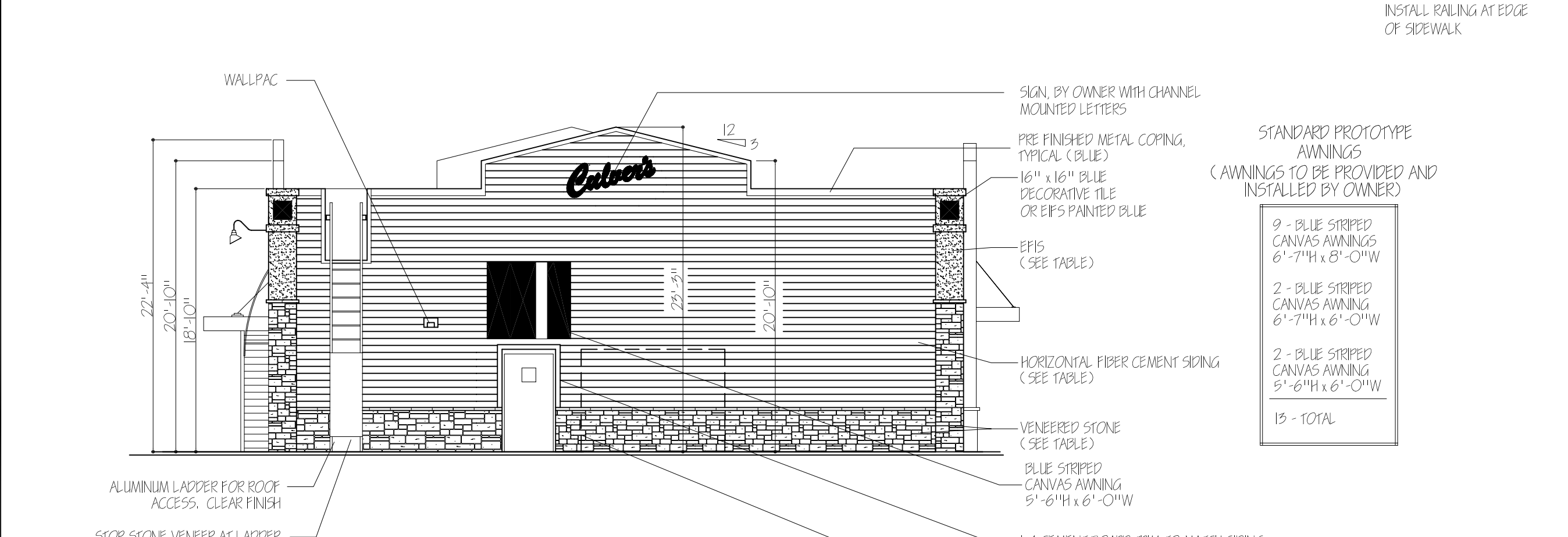
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LIST

VENEERED STONE
PRO CAST STONE - CULVER'S PRAIRIE BLEND
STACKSTONE WITH GRAY MORTAR

FASCIA AND FLASHING
BRUSHED ALUMINUM

CEMENT BOARD SIDING
CERTAINTED SAND

E.P.F.S. @ COLUMNS
PAREX KHAKI 104H SWRL FINE FINISH

FOR NATIONAL ACCOUNT PRICING, PLEASE CONTACT:
PRO-CAST STONE
MIRE ANDERSON AT 1-814-349-5567

NOTE:
ALL STACKSTONE IS REQUIRED TO BE INSTALLED USING A MIN. 1/4" MORTAR JOINTS. CONSULT WITH CFSI FOR ANY CHANGES.
* ANY CHANGES OR ALTERNATES NEED TO BE SUBMITTED TO CFSI FOR APPROVAL.

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ARCHITECTURAL CONCEPTS
ARCHITECTURE PLANNING ENGINEERING
1650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

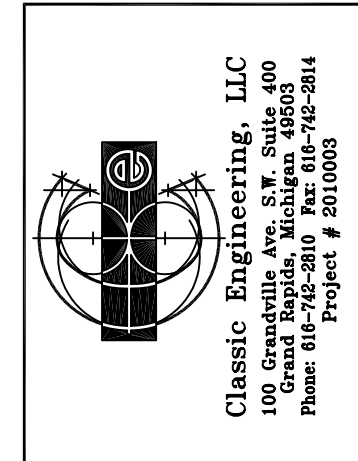
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CULVER'S RESTAURANT & BOUTIQUE & BREWERY

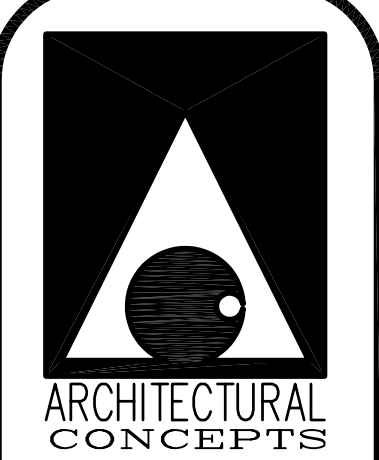
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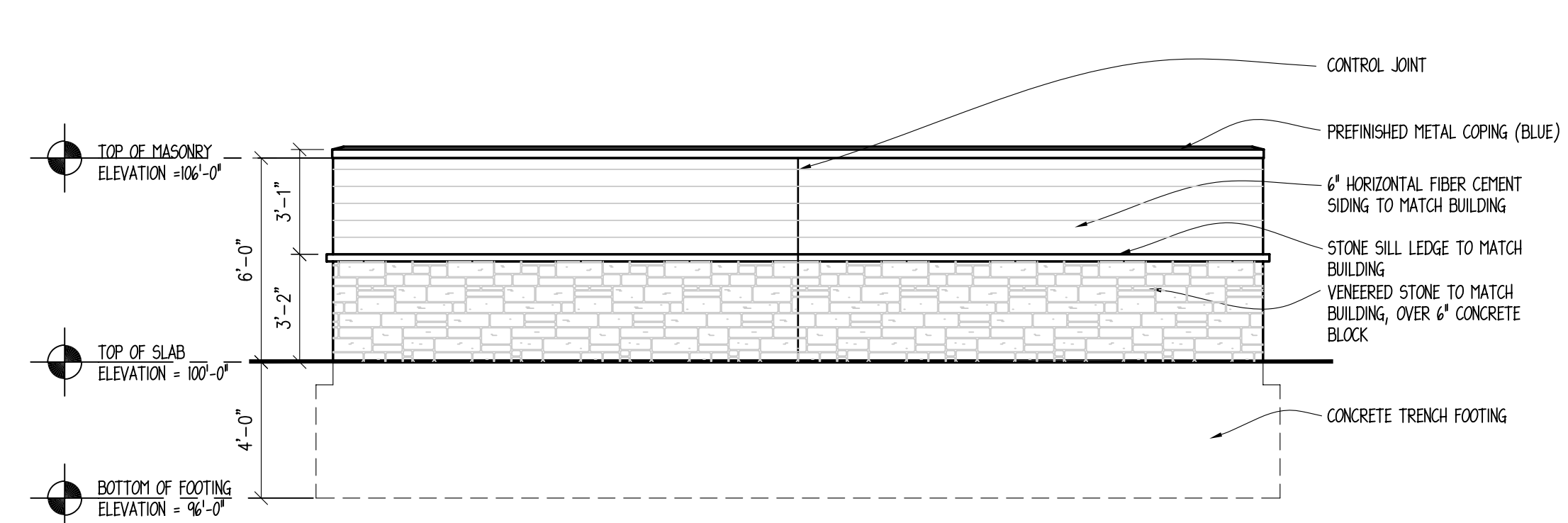
Sheet
A-3
of Twelve



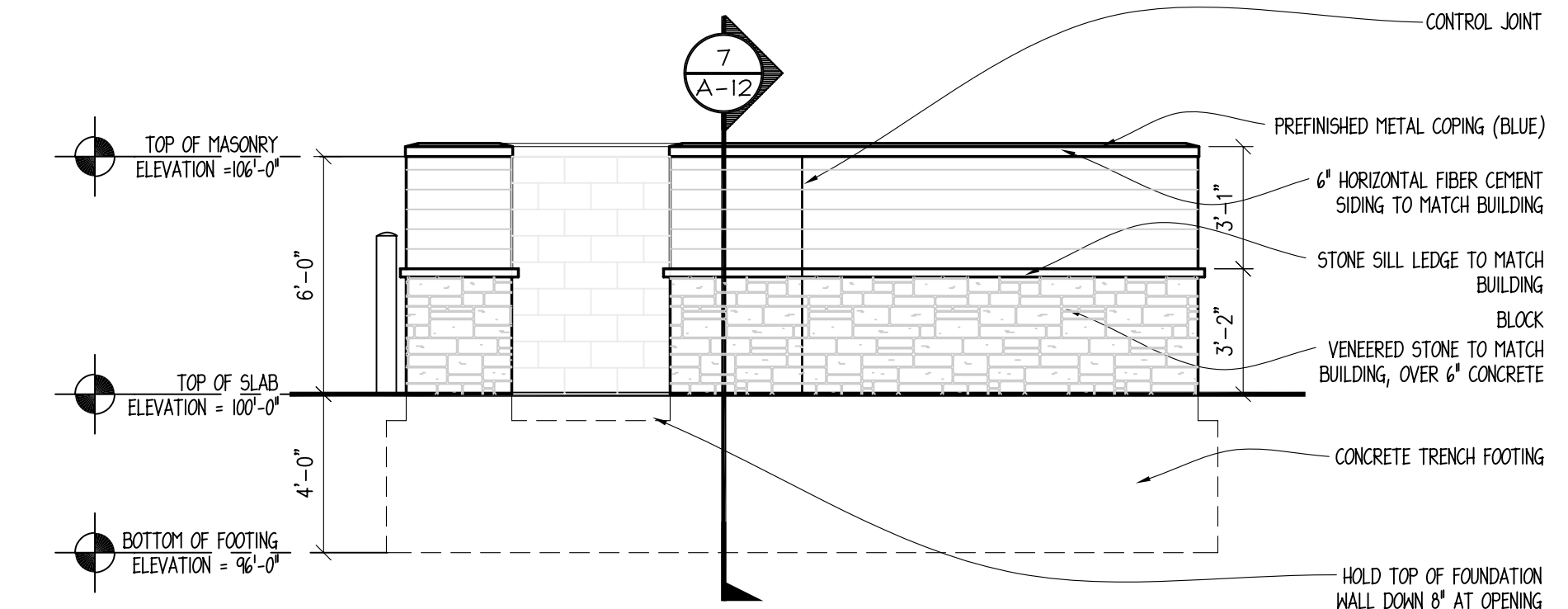
Classic Engineering, LLC
 100 Grandville Ave., S.W. Suite 400
 Grand Rapids, MI 49508
 Phone: 616-416-2810 Fax: 616-416-2814
 Project # 2010055



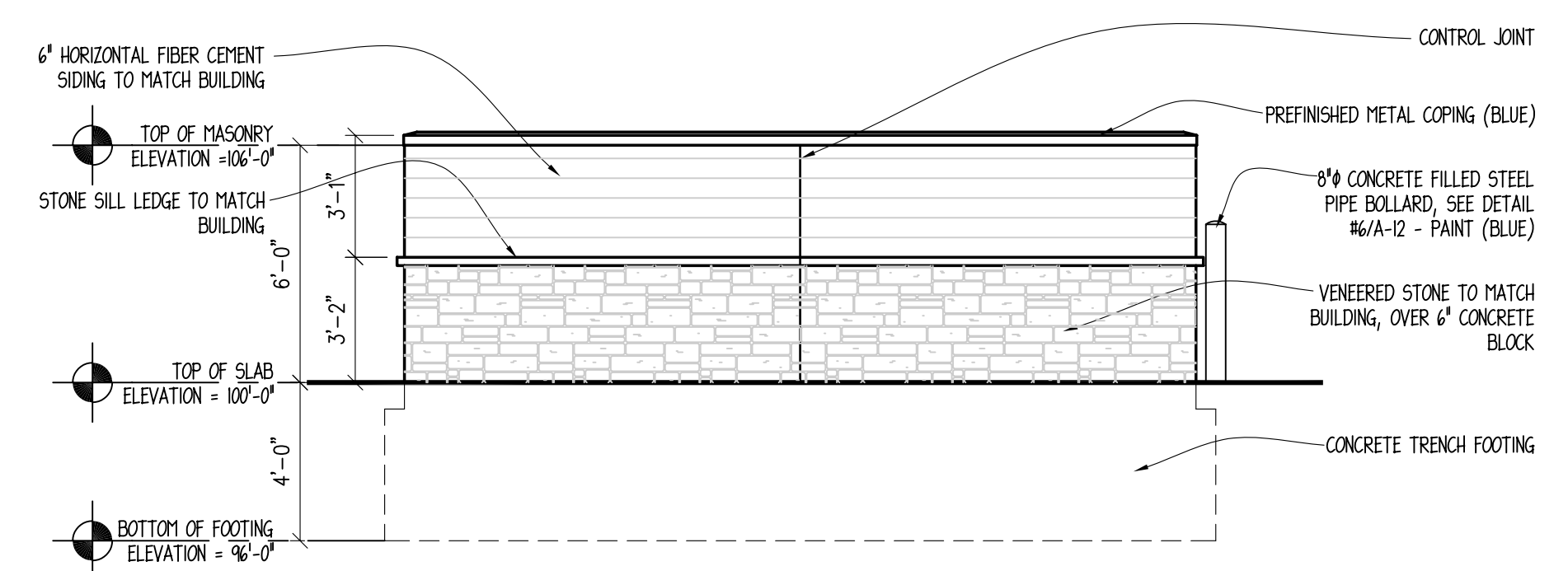
ARCHITECTURAL CONCEPTS
 ARCHITECTURE
 PLANNING
 ENGINEERING
 6650 CROSSING DRIVE, S.E.
 GRAND RAPIDS, MI 49508
 (616) 554-1222
 FAX (616) 554-1225



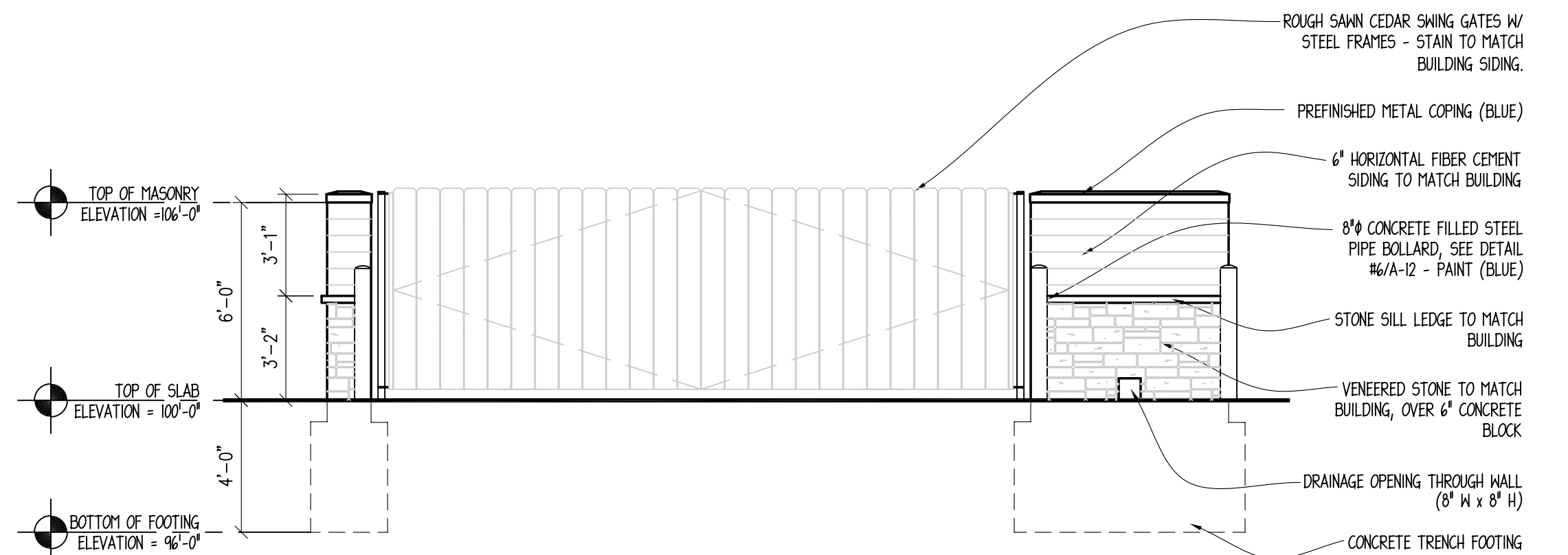
4 WEST ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



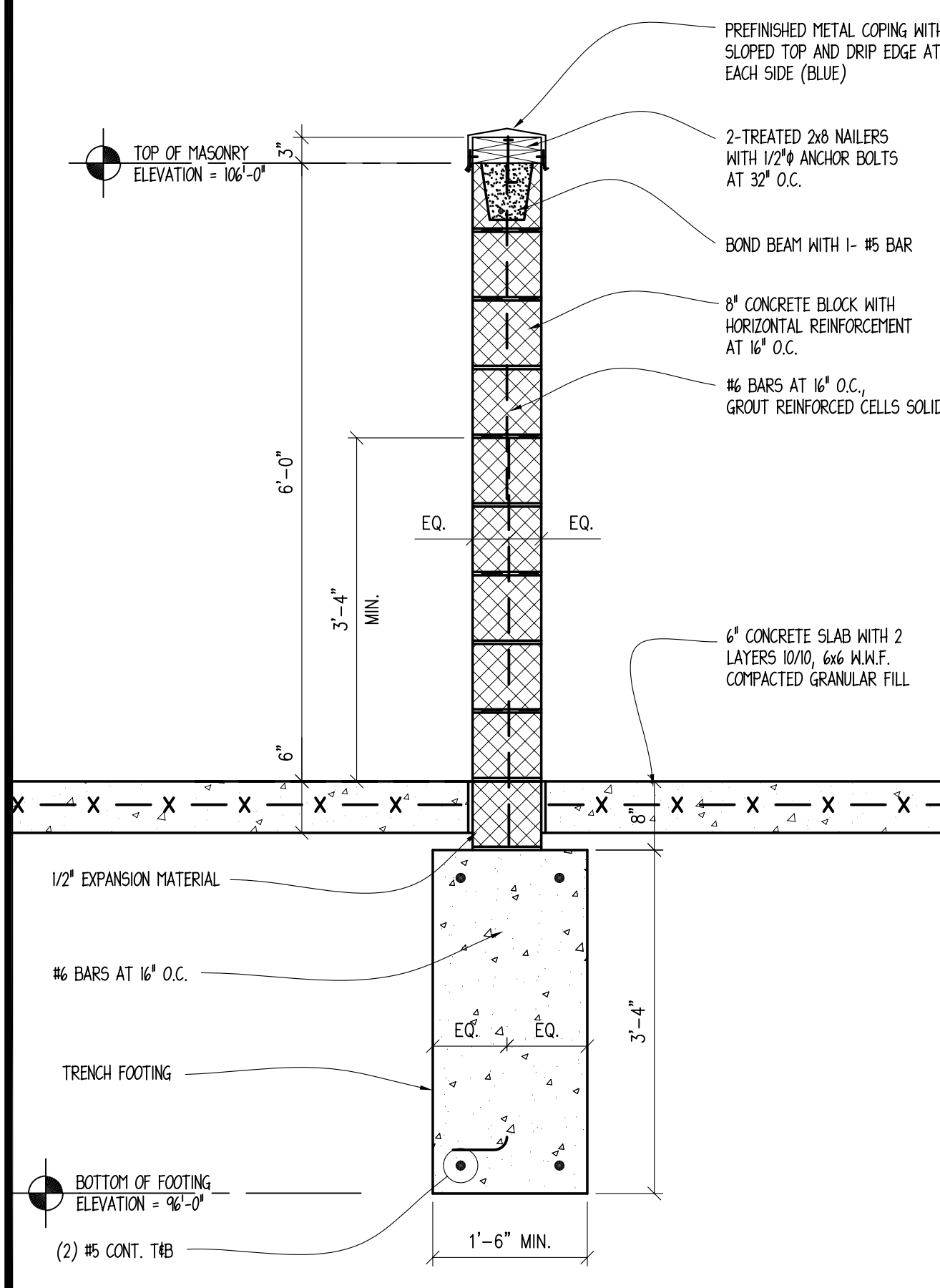
3 NORTH ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



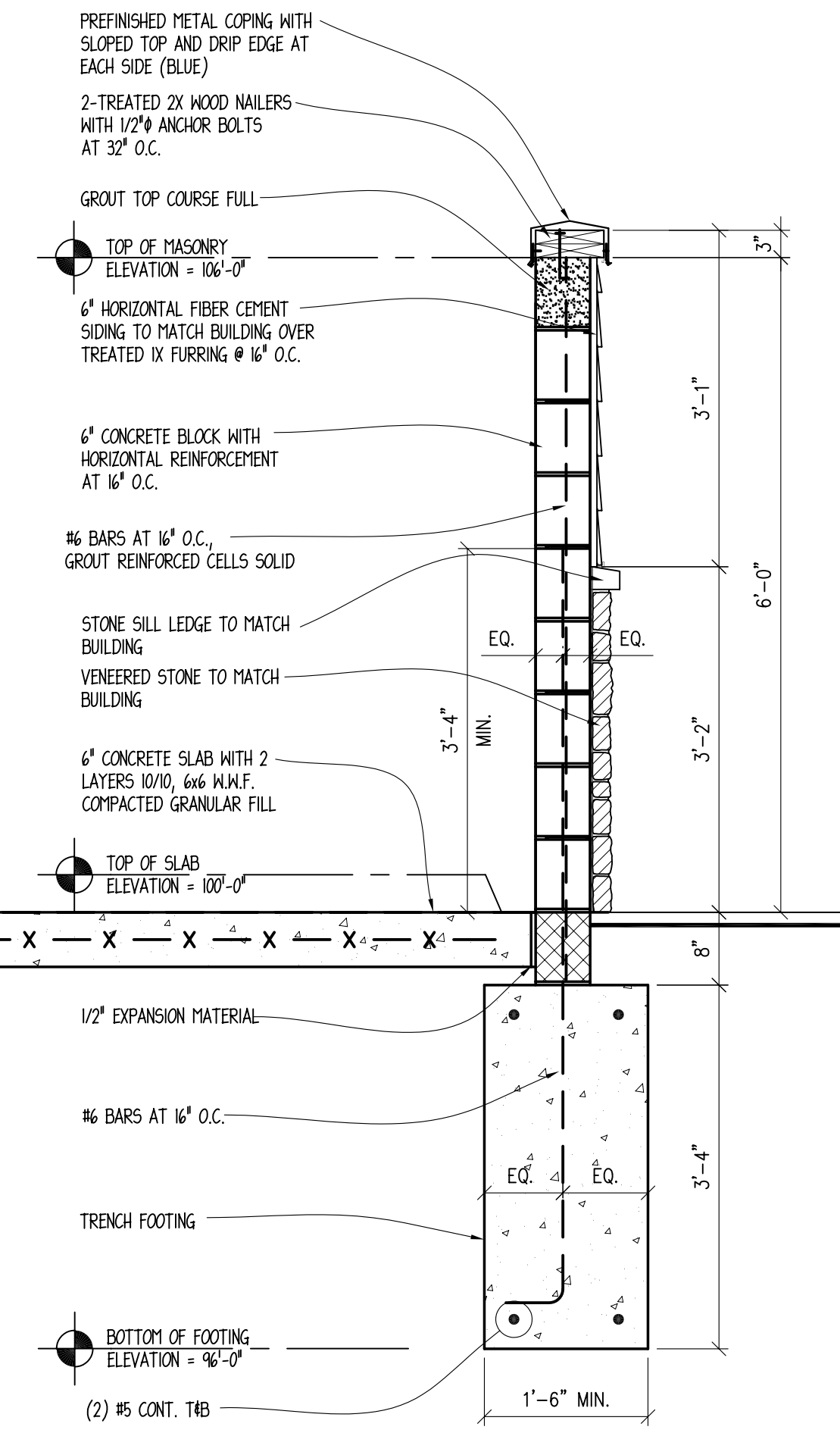
5 SOUTH ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



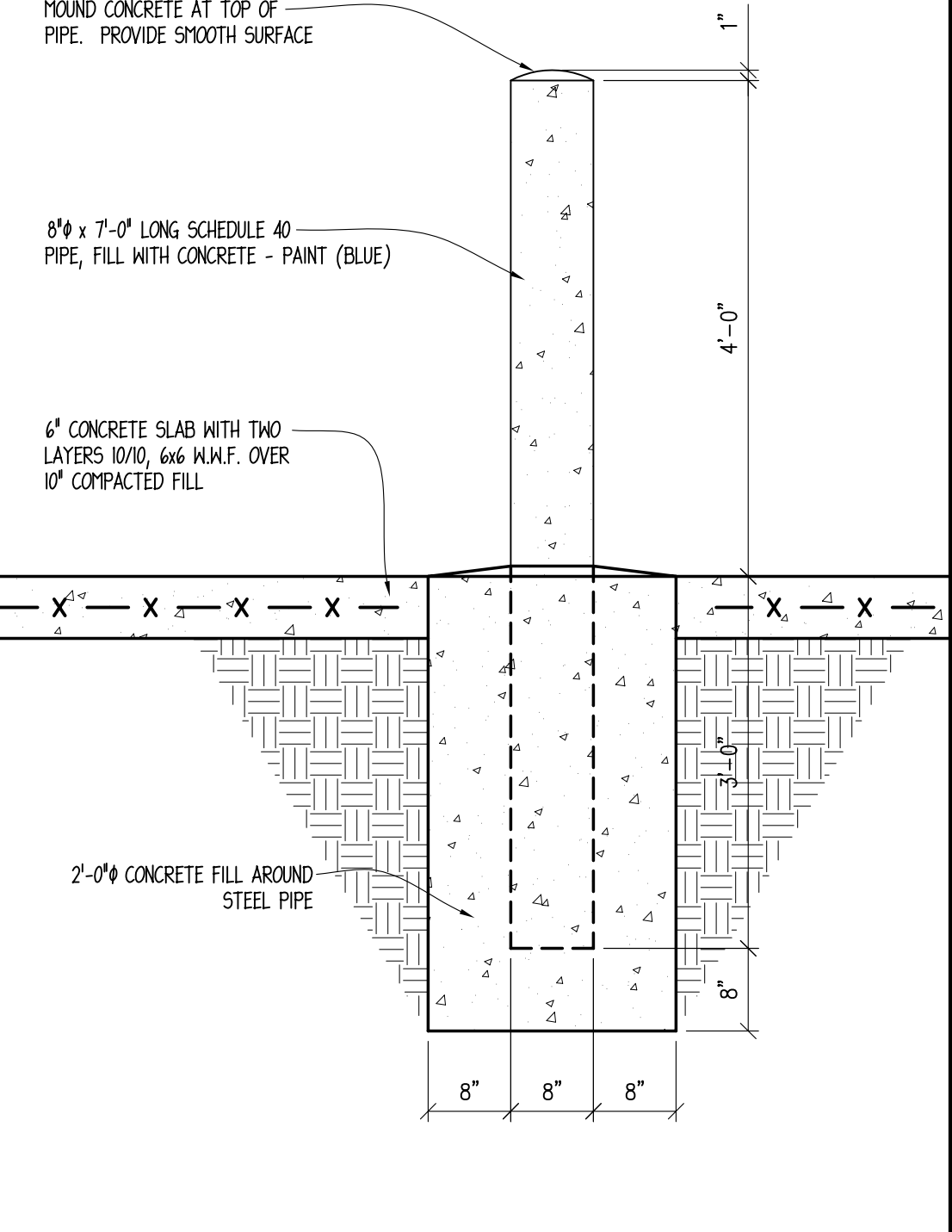
2 EAST ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



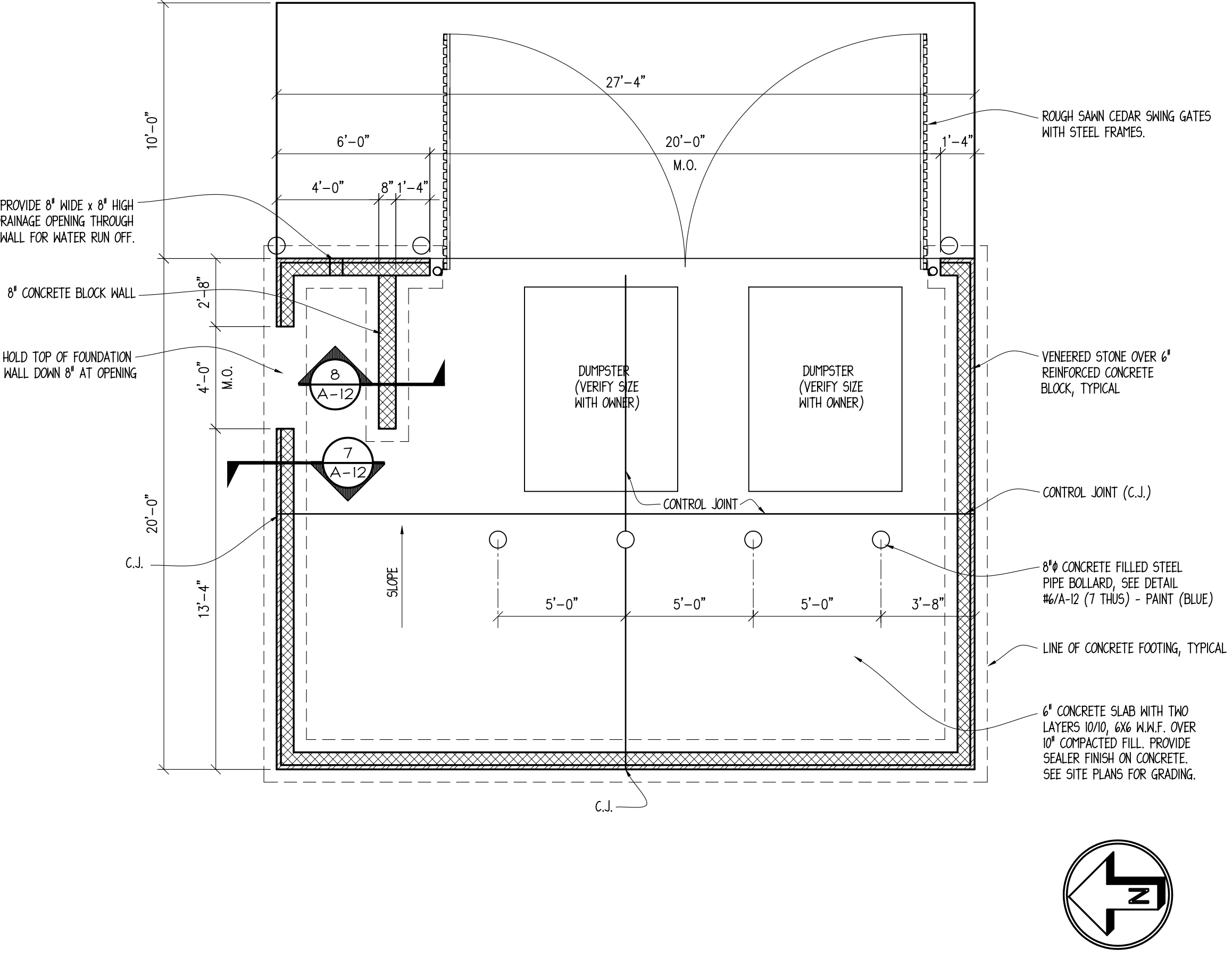
8 WALL SECTION
 A-12 SCALE: 3/4" = 1'-0"



7 WALL SECTION
 A-12 SCALE: 3/4" = 1'-0"



6 TYPICAL BOLLARD DETAIL
 A-12 SCALE: 3/4" = 1'-0"



1 DUMPSITER ENCLOSURE PLAN
 A-12 SCALE: 1/4" = 1'-0"

PRELIMINARY NO FOR CONSTRUCTION

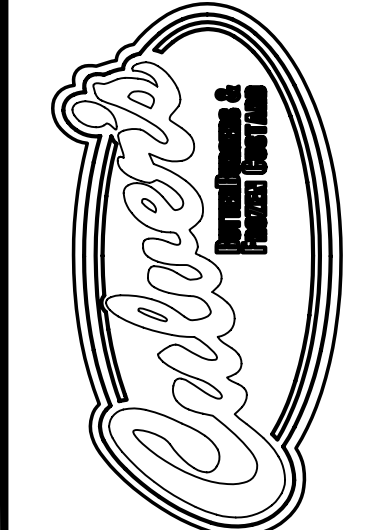
WARNING: These plans are for the exclusive use of Culver Franchising Systems, Inc. and authorized franchise holders only. No part of these plans or the design they represent may be duplicated or reproduced without permission of Culver Franchising System, Inc.

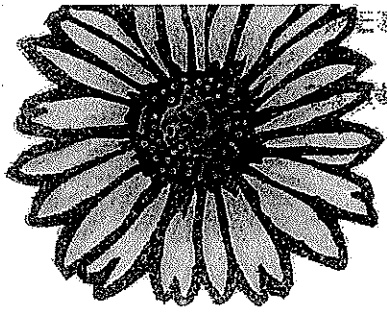
CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

Date	Revision
09-21-2011	REVISIONS PER TWP. REVIEW
10-26-2011	REVISED PER PLANNING COMM.
11-21-2011	REVISED PER PLANNING COMM.

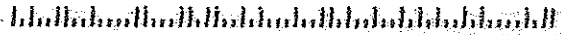
Sheet
A-12
 of Twelve

Culver Franchising System, Inc.
 540 Water Street
 Prairie du Sac, WI 53578
 608-643-7980





Genoa Township
2911 Dorr Rd
Brighton, MI 48116



Genoa Township,

Thank you for providing
the leaf drop-off event
this fall. It was greatly
appreciated. I hope it will
be available next year.

Veronica



Congratulations!

This certificate is awarded to

Genoa Charter Township

for successfully completing your project under the
Energy Efficiency and Conservation Block Grant.

A handwritten signature in blue ink that reads "Jan Patrick". A horizontal line is drawn below the signature.

JAN PATRICK

Manager, EECBG Program,
Michigan Energy Office



michigan.gov/recovery

November 28, 2011

Date

Mike Archinal

From: Jim Mortensen <hjm2@sbcglobal.net>
Sent: Thursday, December 01, 2011 11:13 AM
To: Frank Mancuso; Gary McCririe; Jean Ledford; Mike Archinal; Polly; Robin Hunt; steve wildman; Steve Wildman; Todd Smith
Cc: Jmortens1
Subject: SPARK Benchmarks

During the last Board meeting I suggested that we each come up with five items describing what we want or expect out of a deal with SPARK. The following are my thoughts:

GENERAL

- #At least two of the objectives listed below will be completed within the first three year period.
- #The objectives will be accomplished without property tax abatement or direct Township funding.
- #Objectives may be substituted and/or combined with Genoa Township Board approval.

SPECIFIC

- #Find a user for a large vacant building (e.g., Dick's, Krogers, etc.)
- #Locate a user for a sensitive large parcel (e.g., Zeeb property, Dorr and Grand River, etc.) Note: Rezoning might be necessary.
- #Attract one high-tech company with at least 25 new jobs.
- #Assist local company (within Genoa Township) in expansion efforts, creating at least 25 new jobs.
- #Obtain external funding to preserve a large farm within Genoa township.

I believe that the Board should settle on whatever benchmarks that it can agree upon, and, while general in nature, that they be included in any agreement with SPARK (after discussions with that organization.)

Regards, Jim

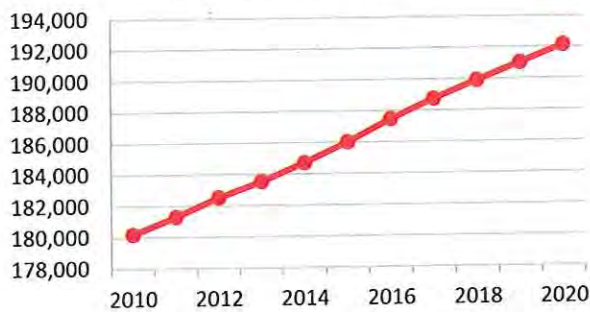


Livingston County Forecast Summary

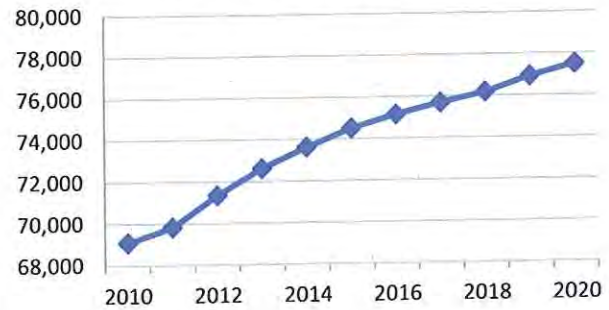
Population and Households

	2010	2015	2020	2010-15	2015-20
	Number			Change	
Population	180,967	186,003	192,104	5,036	6,101
Households	67,378	70,557	73,618	3,179	3,061
Household Size	2.67	2.63	2.58	-0.04	-0.05

Population by Year



Employment by Year



Employment

	2010	2015	2020	2010-15	2015-20
	Employees			Change	
Five Largest Sectors					
Retail Trade	9,160	9,211	9,121	51	-90
Financial Activities	8,779	9,745	10,195	966	450
Manufacturing	6,698	6,658	6,180	-40	-478
Leisure & Hospitality	6,595	6,932	6,985	337	53
Professional, Technical, & Scientific Services	4,822	5,788	6,493	966	705
All Other Sectors	33,009	36,150	38,499	3,141	2,349
Total Employment	69,063	74,484	77,473	5,421	2,989



Livingston County

Community Household Population

Forecast 2010-2020

COMMUNITY	2010	2015	2020	CHANGE 2010-2020	% CHANGE 2010-2020
BRIGHTON	7,277	7,524	7,680	403	5.5%
BRIGHTON TWP	17,681	18,834	19,228	1,547	8.7%
COHOCTAH TWP	3,314	3,366	3,861	547	16.5%
CONWAY TWP	3,542	3,340	3,465	-77	-2.2%
DEERFIELD TWP	4,169	4,498	4,647	478	11.5%
FENTON (LIVINGSTON)	0	0	0	0	N/A
FOWLerville	2,879	2,888	2,858	-21	-0.7%
GENOA TWP	19,802	20,438	20,895	1,093	5.5%
GREEN OAK TWP	17,369	17,744	17,911	542	3.1%
HAMBURG TWP	21,151	22,898	23,279	2,128	10.1%
HANDY TWP	5,104	4,866	4,899	-205	-4.0%
HARTLAND TWP	14,659	14,873	15,589	930	6.3%
HOWELL	9,066	8,519	8,611	-455	-5.0%
HOWELL TWP	6,556	7,748	8,139	1,583	24.1%
IOSCO TWP	3,793	3,600	3,762	-31	-0.8%
MARION TWP	9,979	9,997	9,921	-58	-0.6%
OCEOLA TWP	11,899	11,654	12,024	125	1.1%
PINCKNEY	2,417	2,297	2,171	-246	-10.2%
PUTNAM TWP	5,806	6,517	6,513	707	12.2%
TYRONE TWP	10,010	10,390	10,621	611	6.1%
UNADILLA TWP	3,344	3,648	3,958	614	18.4%



Livingston County

Community Households

Forecast 2010-2020

COMMUNITY	2010	2015	2020	CHANGE 2010-2020	% CHANGE 2010-2020
BRIGHTON	3,603	3,589	3,679	76	2.1%
BRIGHTON TWP	6,415	6,837	6,960	545	8.5%
COHOCTAH TWP	1,176	1,228	1,436	260	22.1%
CONWAY TWP	1,199	1,194	1,298	99	8.3%
DEERFIELD TWP	1,481	1,643	1,789	308	20.8%
FENTON (LIVINGSTON)	0	0	0	0	N/A
FOWLerville	1,198	1,263	1,295	97	8.1%
GENOA TWP	7,807	8,105	8,443	636	8.1%
GREEN OAK TWP	6,450	6,628	6,808	358	5.6%
HAMBURG TWP	7,860	8,570	8,779	919	11.7%
HANDY TWP	1,793	1,829	1,923	130	7.3%
HARTLAND TWP	5,154	5,424	5,759	605	11.7%
HOWELL	4,028	3,842	3,994	-34	-0.8%
HOWELL TWP	2,531	3,051	3,249	718	28.4%
IOSCO TWP	1,278	1,292	1,435	157	12.3%
MARION TWP	3,499	3,553	3,661	162	4.6%
OCEOLA TWP	4,057	4,082	4,318	261	6.4%
PINCKNEY	869	861	868	-1	-0.1%
PUTNAM TWP	2,166	2,415	2,481	315	14.5%
TYRONE TWP	3,528	3,733	3,860	332	9.4%
UNADILLA TWP	1,286	1,418	1,583	297	23.1%



Livingston County

Development & Employment Events

Known Development Events

Community	Project Type	Project Name	Size (sq ft)	Development	
				Type	Year Built
Brighton	Office	Corrigan	1,990	Addition	2010
Brighton	Retail	Meijer	221,068	Renovation	2010
Brighton Twp	Mixed-Use	Grand Hilton Center	46,223	Redevelopment	Proposed
Brighton Twp	Retail	Car Quest	9,652	Renovation	Proposed
Brighton Twp	Institutional	St. Mary Magdalen	30,087	Addition	2010
Genoa Twp	Retail	Genoa Town Square	18,510	New	Proposed
Genoa Twp	Utility	Consumers Energy Service Center	30,000	New	2010
Green Oak Twp	Retail	Boomtwn Kitchen & Tap	7,481	Renovation	2010
Green Oak Twp	Retail	Discount Tire Store	9,052	New	2010
Green Oak Twp	Industrial	Fortech	5,904	Renovation	2010
Hartland Twp	Mixed-Use	Newberry Place & Newberry West	300,000	New	Proposed
Hartland Twp	Retail	Hartland Marketplace	57,300	Redevelopment	2010
Hartland Twp	Office	Nawrocki Center for Elder and Family Law	4,179	New	Proposed
Hartland Twp	Retail	Belle Tire	9,987	New	2010
Hartland Twp	Retail	Flagstar Bank	2,812	New	Proposed
Hartland Twp	Recreational	Michigan State Youth Soccer Association	0	New	Proposed
Hartland Twp	Retail	Black Rock Bar & Grill	5,465	New	2010
Hartland Twp	Industrial	Koppert Biological Systems Inc	41,500	Renovation	2010
Hartland Twp	Retail	Tim Horton's	2,210	New	2010
Howell	Retail	202 S. Michigan Ave Retail Bldg.	4,922	Renovation	2010
Putnam Twp	Institutional	Arise United Methodist Church	5,559	Redevelopment	2010

Known Employment Events/Changes

None



Livingston County

Community Employment

Forecast 2010-2020

COMMUNITY	2010	2015	2020	CHANGE 2010-2020	% CHANGE 2010-2020
BRIGHTON	11,366	12,261	12,757	1,391	12.2%
BRIGHTON TWP	8,420	9,654	10,475	2,055	24.4%
COHOCTAH TWP	C	C	C	C	C
CONWAY TWP	C	C	C	C	C
DEERFIELD TWP	353	414	404	51	14.4%
FENTON (LIVINGSTON)	0	0	0	0	N/A
FOWLERVILLE	1,539	1,552	1,527	-12	-0.8%
GENOA TWP	11,807	12,599	13,063	1,256	10.6%
GREEN OAK TWP	8,044	8,568	8,556	512	6.4%
HAMBURG TWP	2,619	2,698	2,786	167	6.4%
HANDY TWP	839	873	906	67	8.0%
HARTLAND TWP	4,209	4,720	4,912	703	16.7%
HOWELL	12,398	13,154	13,808	1,410	11.4%
HOWELL TWP	4,198	4,437	4,602	404	9.6%
IOSCO TWP	151	175	185	34	22.5%
MARION TWP	819	950	982	163	19.9%
OCEOLA TWP	523	571	584	61	11.7%
PINCKNEY	564	539	531	-33	-5.9%
PUTNAM TWP	552	616	666	114	20.7%
TYRONE TWP	352	395	404	52	14.8%
UNADILLA TWP	186	193	207	21	11.3%

1) Job numbers are by place-of-work. They include wage and salary jobs as well as self-employed, but do not include Farming or Military jobs.

C - Confidential. At the sub-regional level, SEMCOG blocked the employment numbers for communities that did not meet minimal publishing conditions in order to keep local establishments confidential. These conditions follow the rule, set up by Michigan law and the U.S. Bureau of Labor Statistics, that no numbers may be published if a cell contains: 1) fewer than three establishments, or 2) an establishment with 80 percent or more of that cell's employment.

About this map book

SEMCOG Community Map Books provide easy to understand, quick reference information in a format that is easily accessible, reproducible, and distributable.

The Census 2010 Community Map Book presents a graphic overview of selected demographic information from the 2010 Census of Population and Housing, including: total population, seniors, youth, housing, and residential vacancy. In addition, SEMCOG has developed a special Census Block Equivalency file to accurately map demographic change from 2000 to 2010.

To ask a question about this map book, email infocenter@semcog.org or call 313-324-3330.

Note on data accuracy

The maps depicting 2010 data are displayed using 2010 Census Blocks - the smallest unit of geographic area that the U.S. Census Bureau publishes its data. Mapping at smaller levels of geography is more precise; however, some inaccuracies in the data can become more apparent when mapping at this level of detail. The Census Bureau made additional effort to locate census results to the correct block in 2010; therefore, some increases or decreases in block data from 2000 to 2010 may actually represent a correction in locating addresses more accurately.

More information on SEMCOG initiatives

[Community Design](http://www.semcog.org/CommunityDesign.aspx) – <http://www.semcog.org/CommunityDesign.aspx>

[Data and Maps by Community](http://www.semcog.org/Data/bycommunity.cfm) – <http://www.semcog.org/Data/bycommunity.cfm>

[Development](http://www.semcog.org/Development.aspx) – <http://www.semcog.org/Development.aspx>

[Education](http://www.semcog.org/Education.aspx) – <http://www.semcog.org/Education.aspx>

[Employment](http://www.semcog.org/Employment.aspx) – <http://www.semcog.org/Employment.aspx>

[Grants](http://www.semcog.org/Grants.aspx) – <http://www.semcog.org/Grants.aspx>

[Housing](http://www.semcog.org/Housing.aspx) – <http://www.semcog.org/Housing.aspx>

[Interactive Data Map](http://www.semcog.org/Data/Maps/roads.map.cfm) – <http://www.semcog.org/Data/Maps/roads.map.cfm>

[Local Government Collaboration](http://www.semcog.org/Data/agilegov.cfm) – <http://www.semcog.org/Data/agilegov.cfm>

[Local Government Efficiency](http://www.semcog.org/LGECEfficiency.aspx) – <http://www.semcog.org/LGECEfficiency.aspx>

[Low Impact Development](http://www.semcog.org/Data/lid.cfm) – <http://www.semcog.org/Data/lid.cfm>

[Map Catalog](http://www.semcog.org/MapCatalog.aspx) – <http://www.semcog.org/MapCatalog.aspx>

[Population](http://www.semcog.org/Population.aspx) – <http://www.semcog.org/Population.aspx>

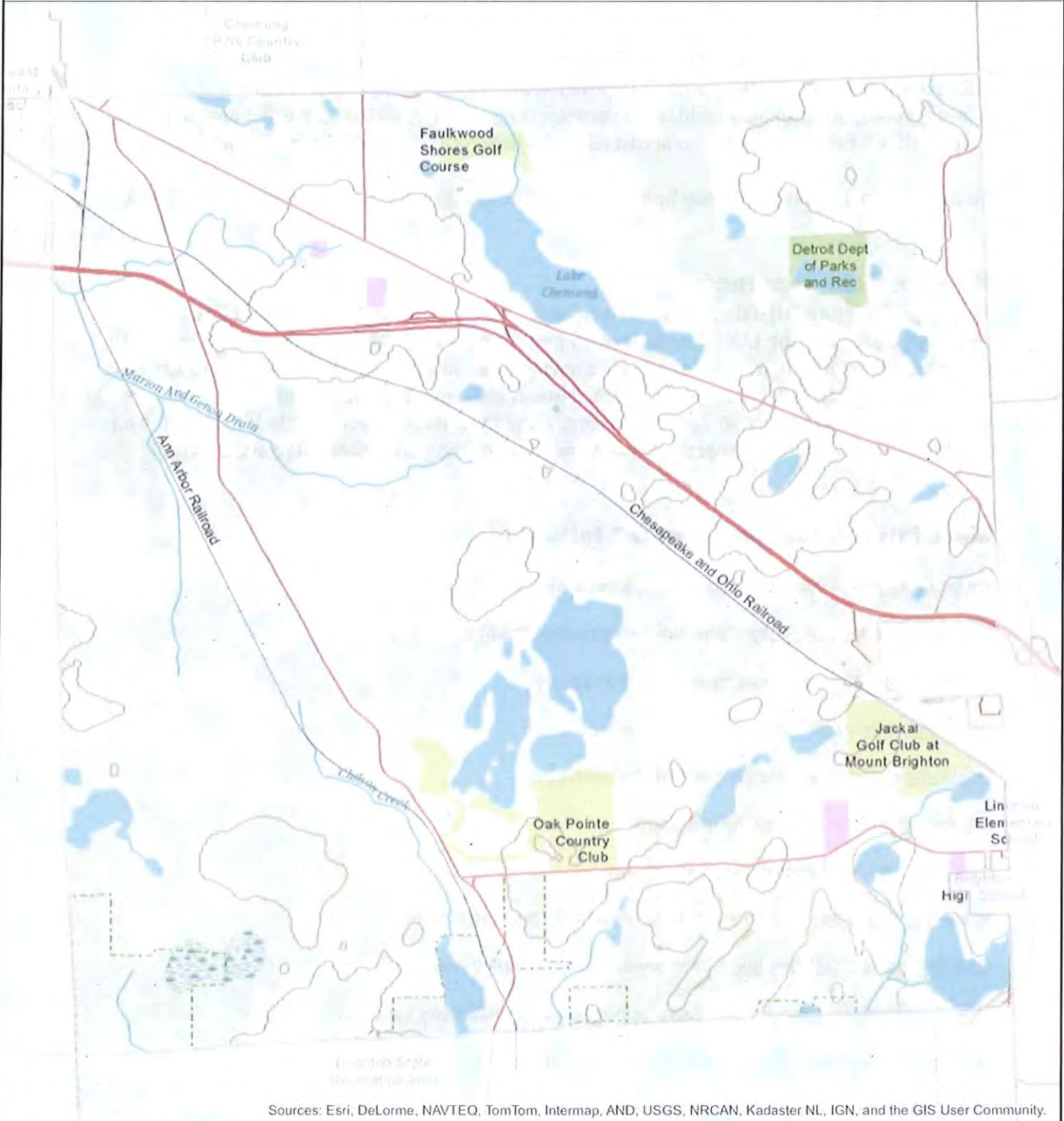
[Sustainability](http://www.semcog.org/Sustainability.aspx) – <http://www.semcog.org/Sustainability.aspx>

[Work Force Development](http://library.semcog.org/InmagicGenie/Document/WorkforceDevelopmentReport.pdf) – <http://library.semcog.org/InmagicGenie/Document/WorkforceDevelopmentReport.pdf>

Census 2010 Map Book

Genoa Township

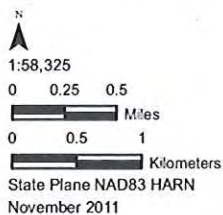
SEMCOG
Member



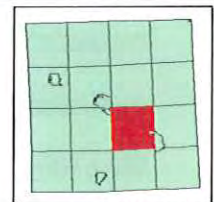
Sources: Esri, DeLorme, NAVTEQ, TomTom, Intermap, AND, USGS, NRCAN, Kadaster NL, IGN, and the GIS User Community.



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United States
Census
2010



Livingston County

Table of Contents

- Map 1 - Aerial Imagery, 2010
- Map 2 - Neighborhood Stability, 2000-2010
- Map 3 - Population Density, 2010
- Map 4 - Population Change, 2000-2010
- Map 5 - Senior Population, 2010
- Map 6 - Senior Population Change, 2000-2010
- Map 7 - Youth Population, 2010
- Map 8 - Youth Population Change, 2000-2010
- Map 9 - Housing Density, 2010
- Map 10 - Housing Change, 2000-2010
- Map 11 - Residential Vacancy Rate, 2010
- Map 12 - Vacancy Rate Change, 2000-2010

Aerial Imagery, 2010

Genoa Township

Map 1

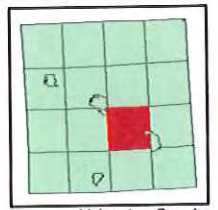
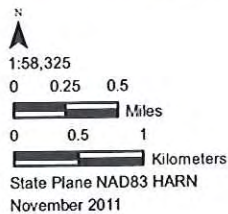
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Source: SEMCOG



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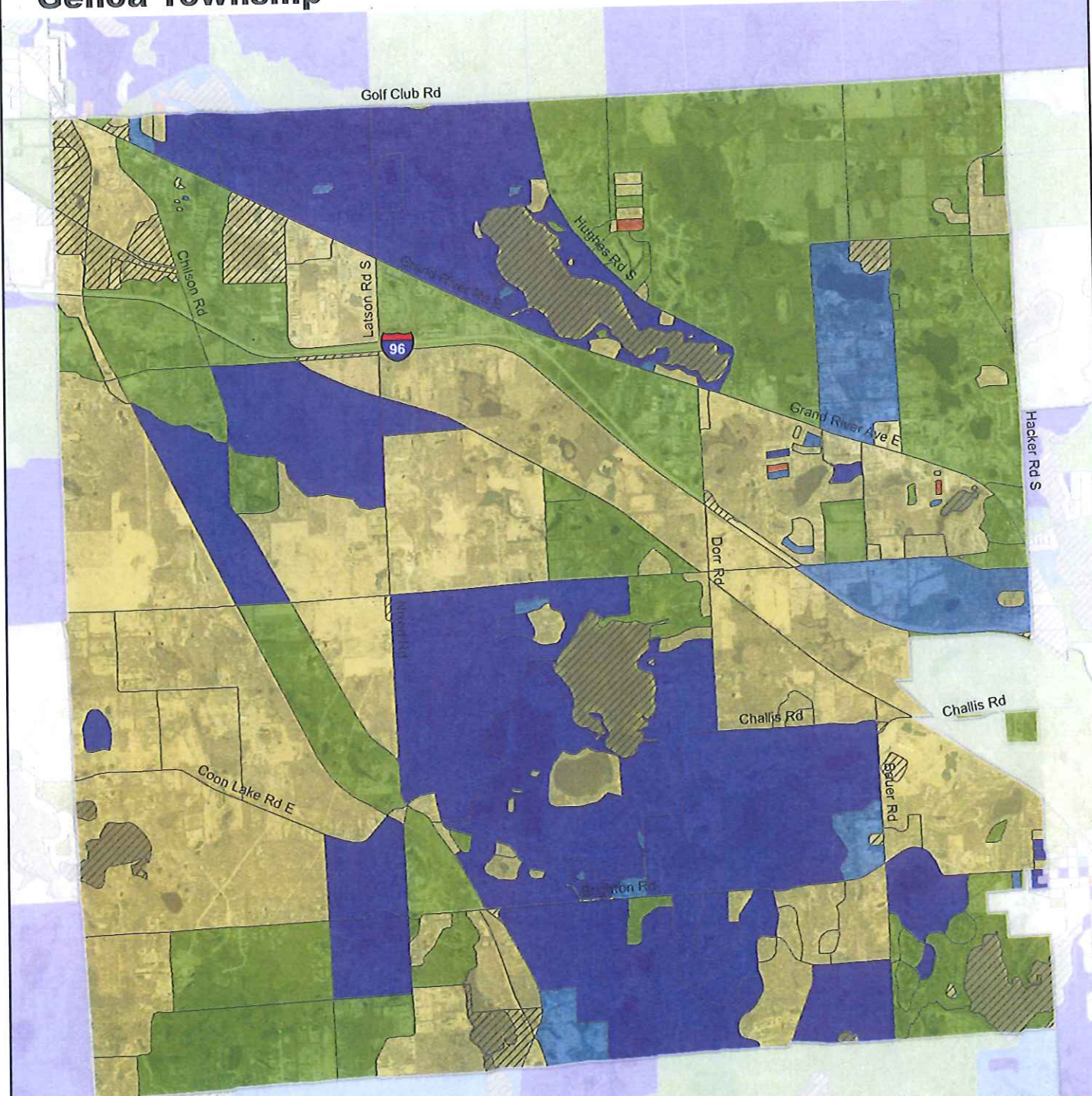
Livingston County

Neighborhood Stability, 2000-2010

Genoa Township

Map 2

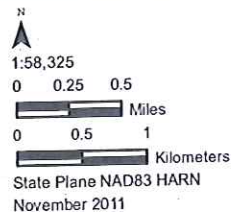
SEMCOG



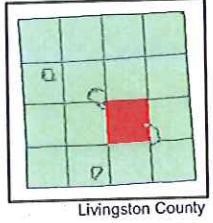
Note: "No change to slight decline" represents a decrease of 2.0 or less persons per acre and a percentage point increase of 10% or less in housing vacancy.
 "Larger decline" represents a decrease of more than 2.0 persons per acre and a percentage point increase of more than 10% in housing vacancy.
 Sources: SEMCOG and U.S. Census Bureau.



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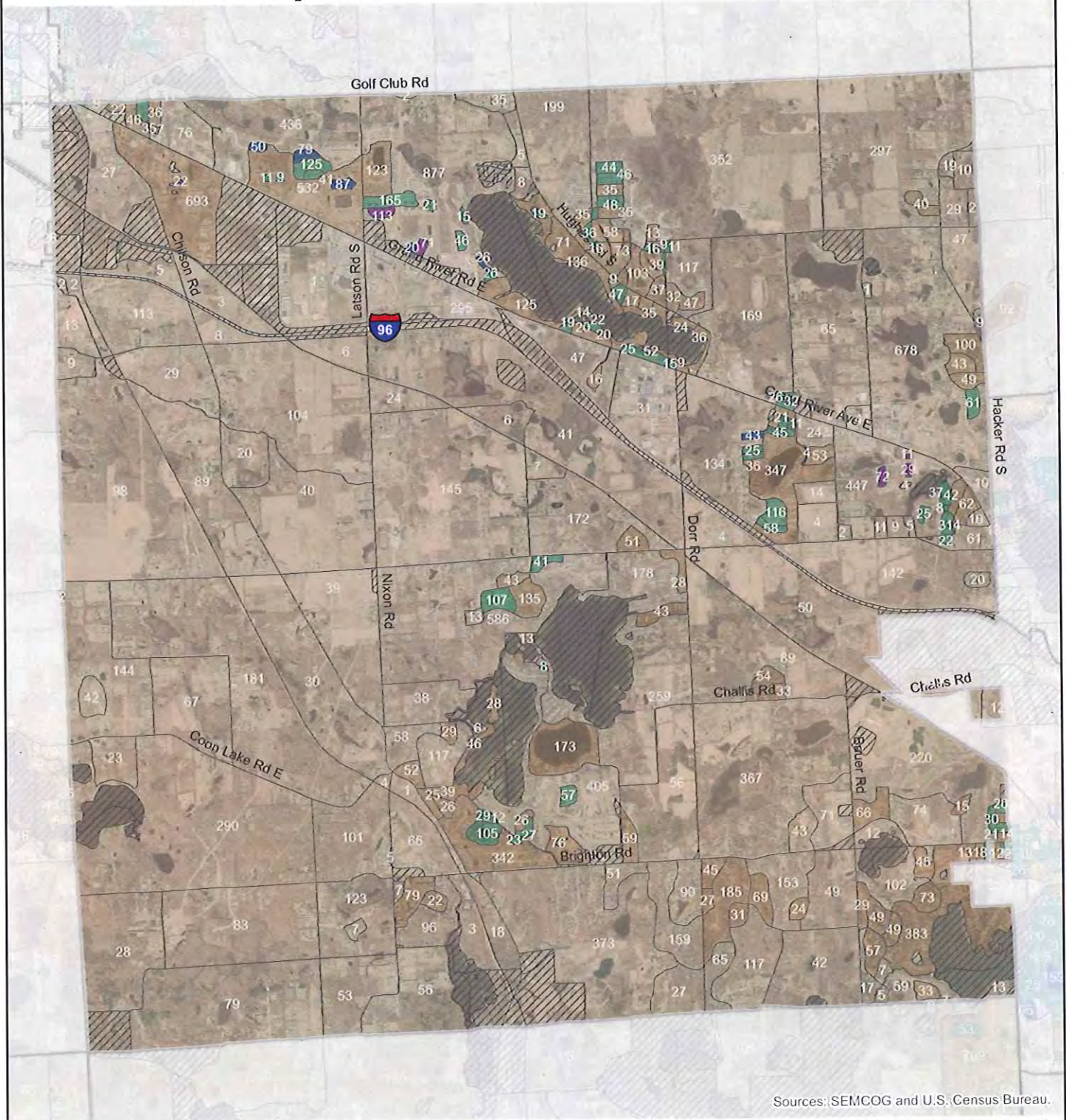


- Neighborhood Stability by Census Block Equivalents**
- Lower vacancy rate and more persons
 - Lower vacancy rate
 - More persons
 - No change to slight decline
 - Larger decline
 - Not populated or no housing units



Population Density, 2010

Genoa Township



Sources: SEMCOG and U.S. Census Bureau.



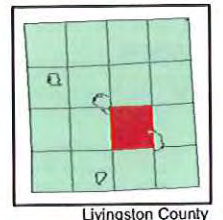
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N
 1:58,325
 0 0.25 0.5 Miles
 0 0.5 1 Kilometers
 State Plane NAD83 HARN
 November 2011

Persons per Acre by Census Block

- Less than 2.0
- 2.0 to 4.9
- 5.0 to 9.9
- 10.0 to 15.0
- More than 15.0

- Not populated
- 000 Population per Block

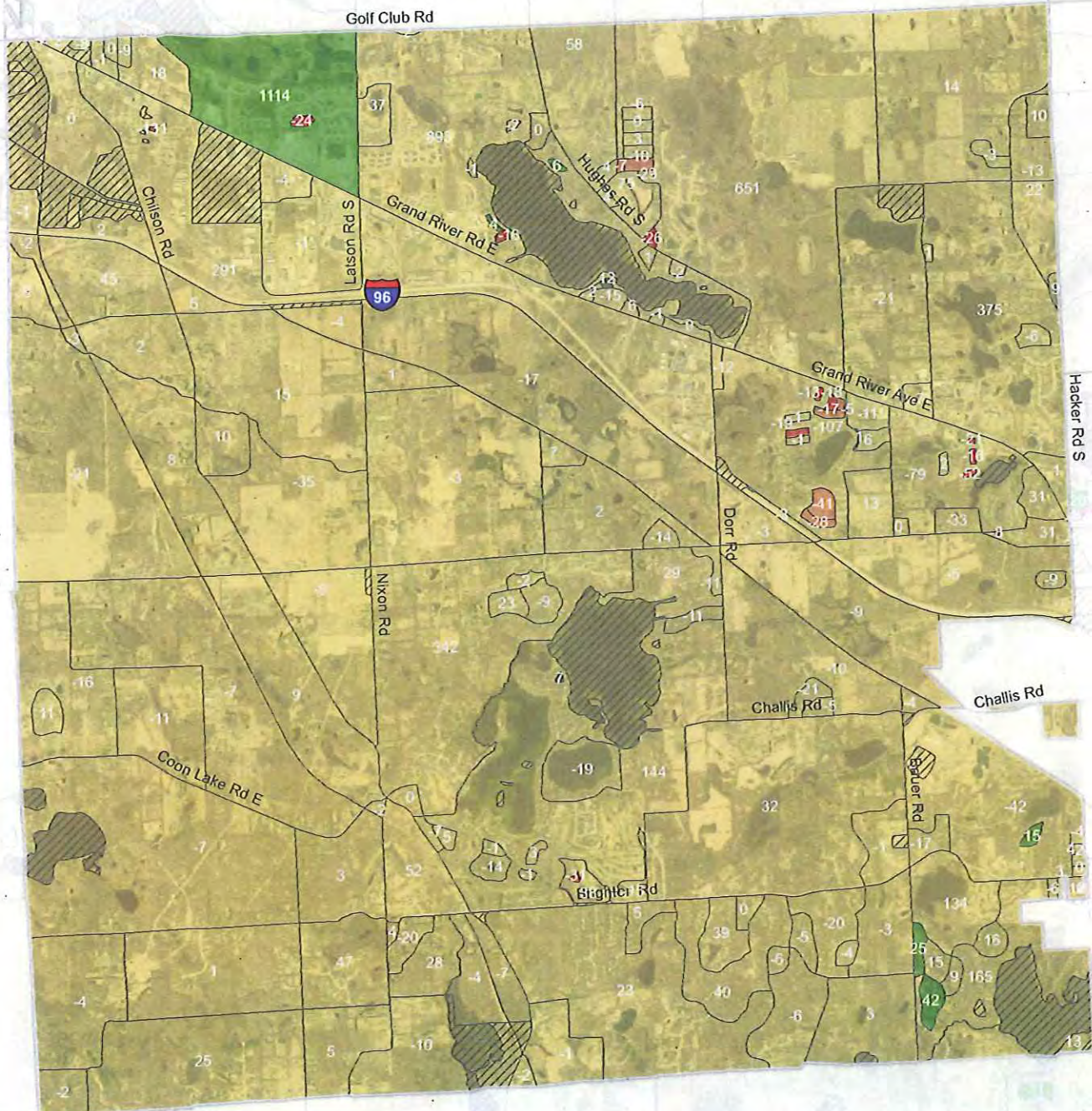


Population Change, 2000-2010

Genoa Township

Map 4

SEMCOG



Sources: SEMCOG and U.S. Census Bureau.

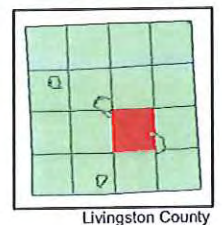


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N
 1:58,325
 0 0.25 0.5 Miles
 0 0.5 1 Kilometers
 Slate Plane NAD83 HARN
 November 2011

Change in Persons per Acre by Census Block Equivalents

- More than 5.0 Gain
- 2.1 to 5.0
- 2.0 to 2.0
- 2.1 to -5.0
- More than 5.0 Loss
- Not populated
- Population Change per Block

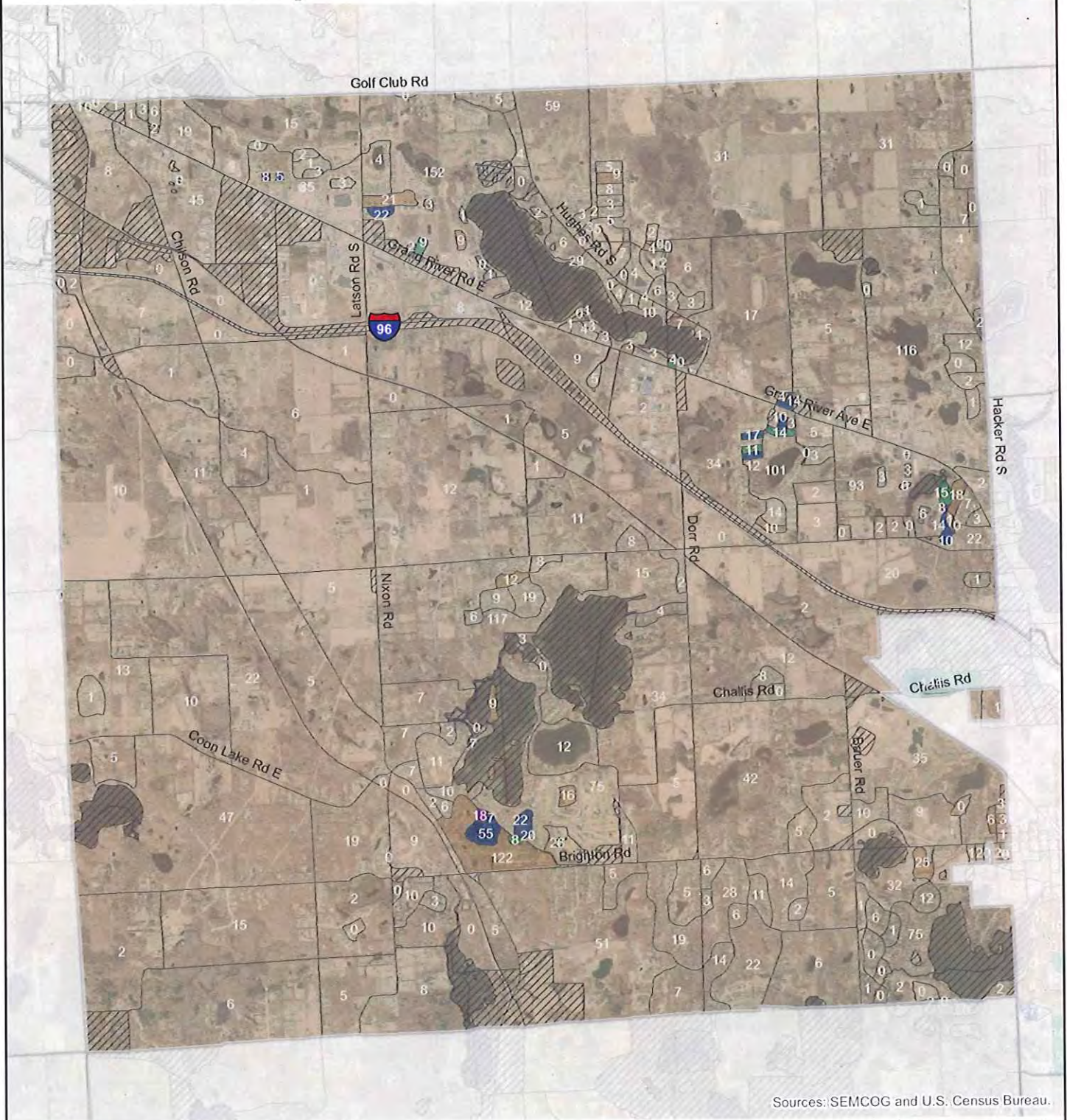


Senior Population, 2010

Genoa Township

Map 5

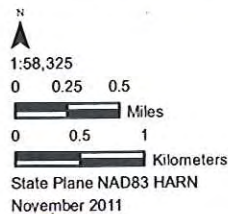
SEMCOG



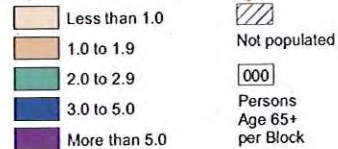
Sources: SEMCOG and U.S. Census Bureau.



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Persons Age 65+ per Acre by Census Block



Senior Population Change, 2000-2010

Genoa Township

Map 6

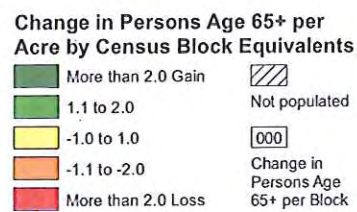
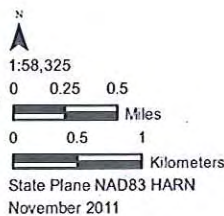
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Sources: SEMCOG and U.S. Census Bureau.



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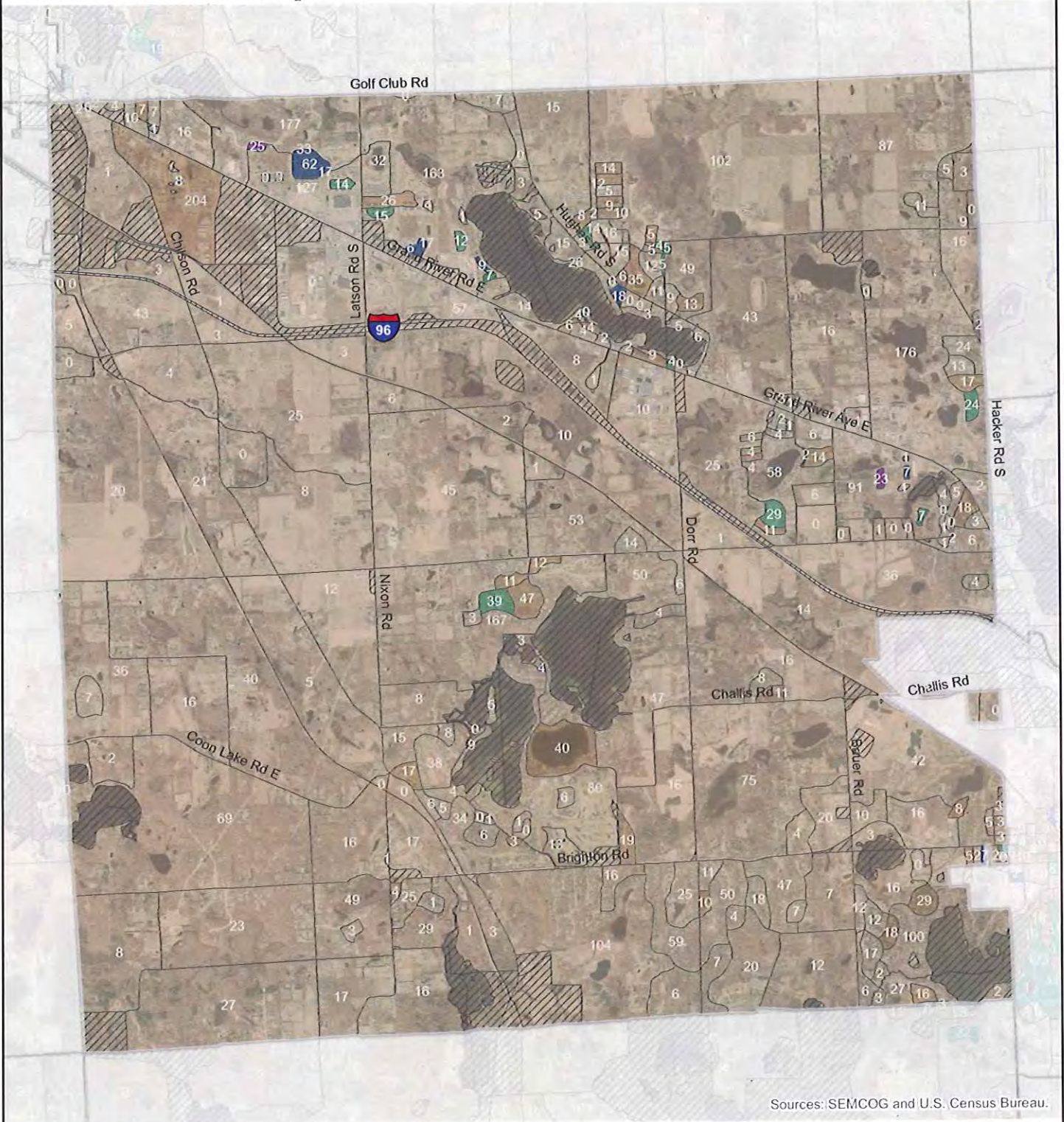


Youth Population, 2010

Genoa Township

Map 7

SEMCOG



Sources: SEMCOG and U.S. Census Bureau.

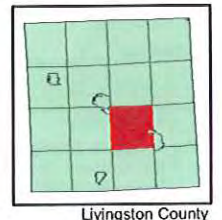


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N
 1:58,325
 0 0.25 0.5
 Miles
 0 0.5 1
 Kilometers
 State Plane NAD83 HARN
 November 2011

Persons Age 0-17 per Acre by Census Block

- Less than 1.0
- 1.0 to 1.9
- 2.0 to 2.9
- 3.0 to 5.0
- More than 5.0
- Not populated
- Persons Age 0-17 per Block



Youth Population Change, 2000-2010

Genoa Township

Map 8

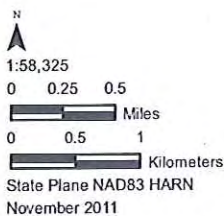
SEMCOG



Sources: SEMCOG and U.S. Census Bureau.



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Change in Persons Age 0-17 per Acre by Census Block Equivalents

- More than 3.0 Gain
- 1.1 to 3.0
- 1.0 to 1.0
- 1.1 to -3.0
- More than 3.0 Loss
- Not populated
- Change in Persons Age 0-17 per Block

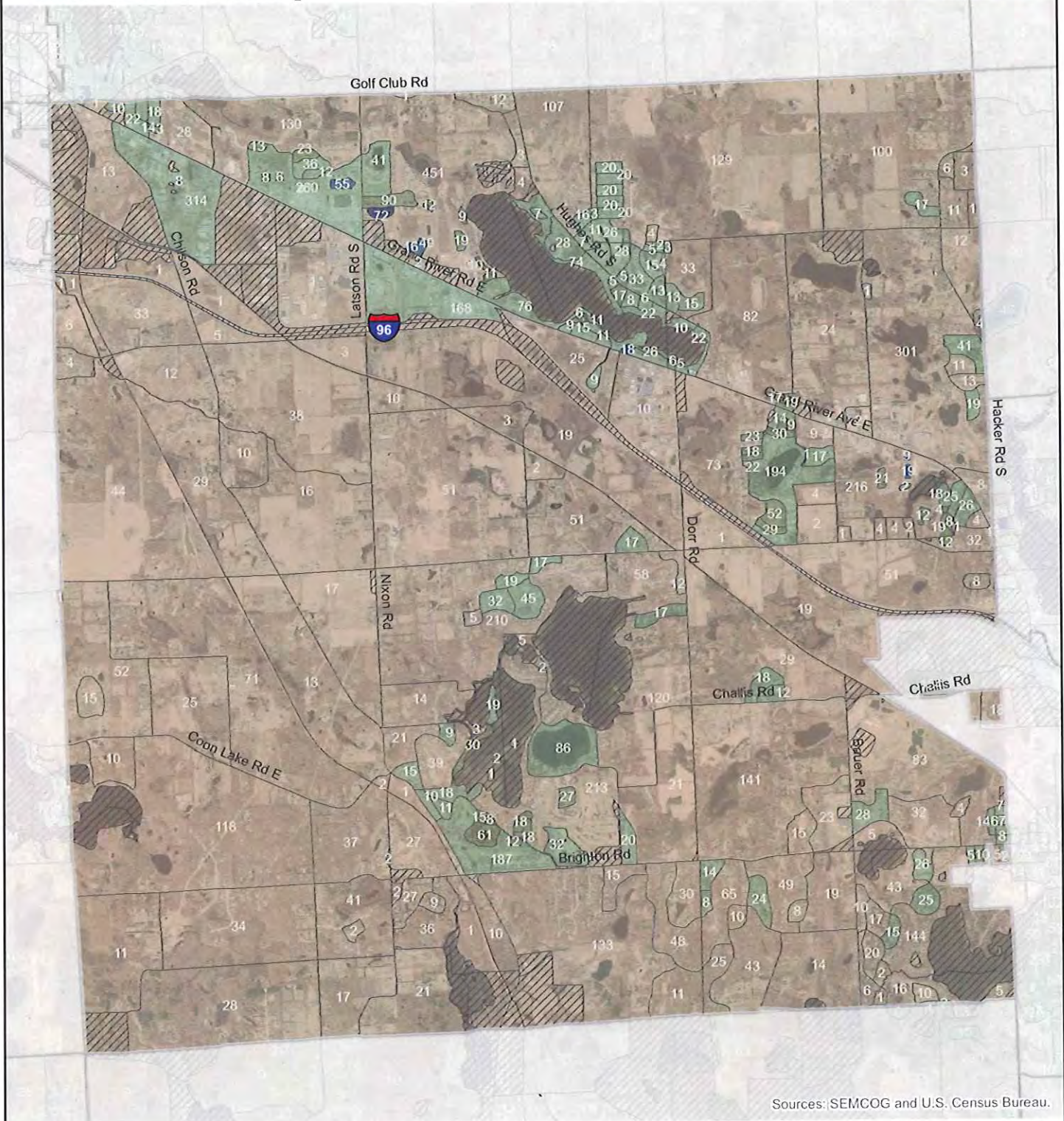


Housing Density, 2010

Genoa Township

Map 9

SEMCOG



Sources: SEMCOG and U.S. Census Bureau.



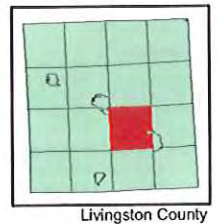
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N
 1:58,325
 0 0.25 0.5 Miles
 0 0.5 1 Kilometers
 State Plane NAD83 HARN
 November 2011

Housing Units per Acre by Census Block

- Less than 1.0
- 1.0 to 2.9
- 3.0 to 5.9
- 6.0 to 10.0
- More than 10.0

- No housing units
- Housing Units per Block

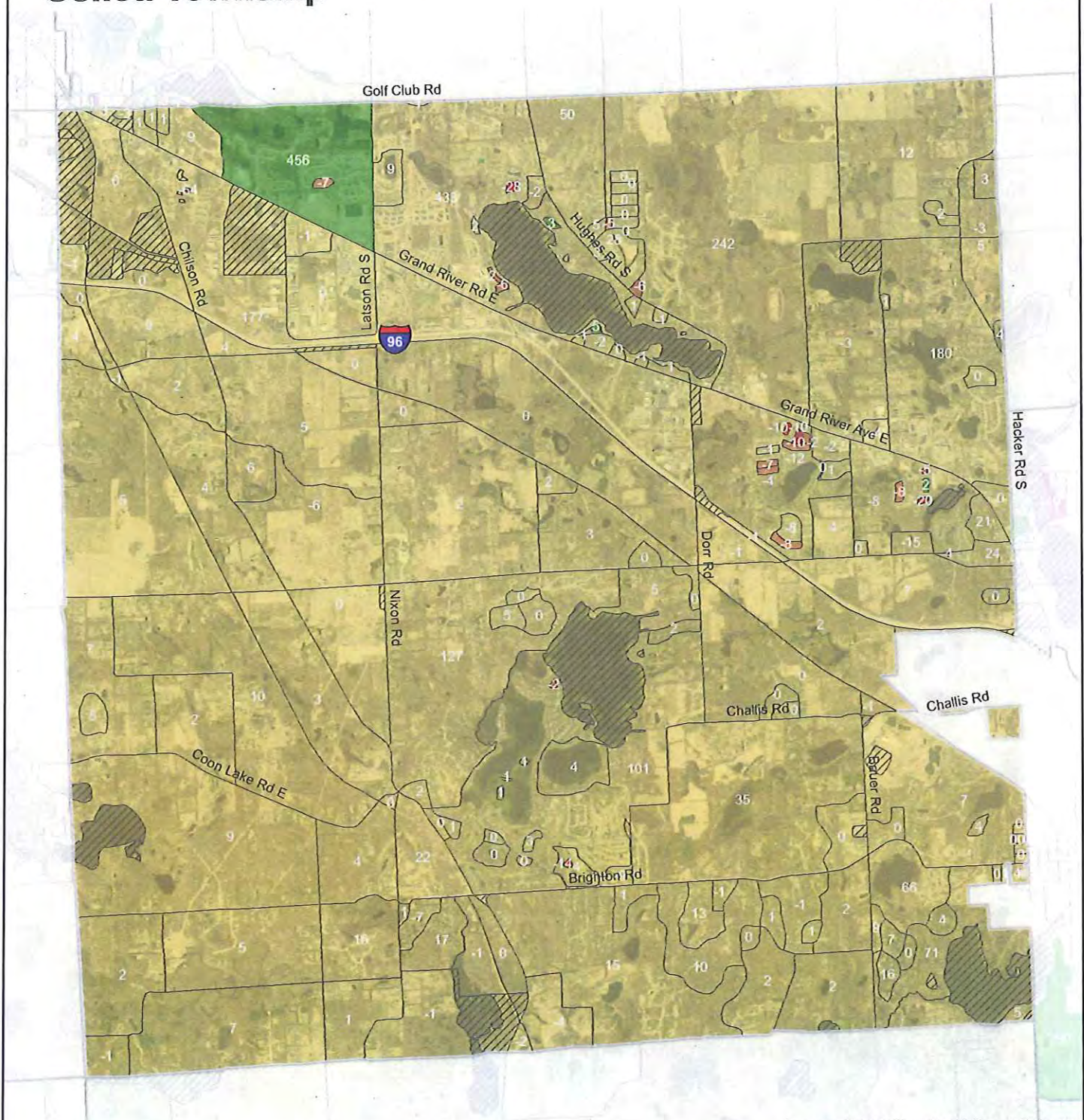


Housing Change, 2000-2010

Genoa Township

Map 10

SEMCOG



Sources: SEMCOG and U.S. Census Bureau



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N
 1:58,325
 0 0.25 0.5 Miles
 0 0.5 1 Kilometers
 State Plane NAD83 HARN
 November 2011

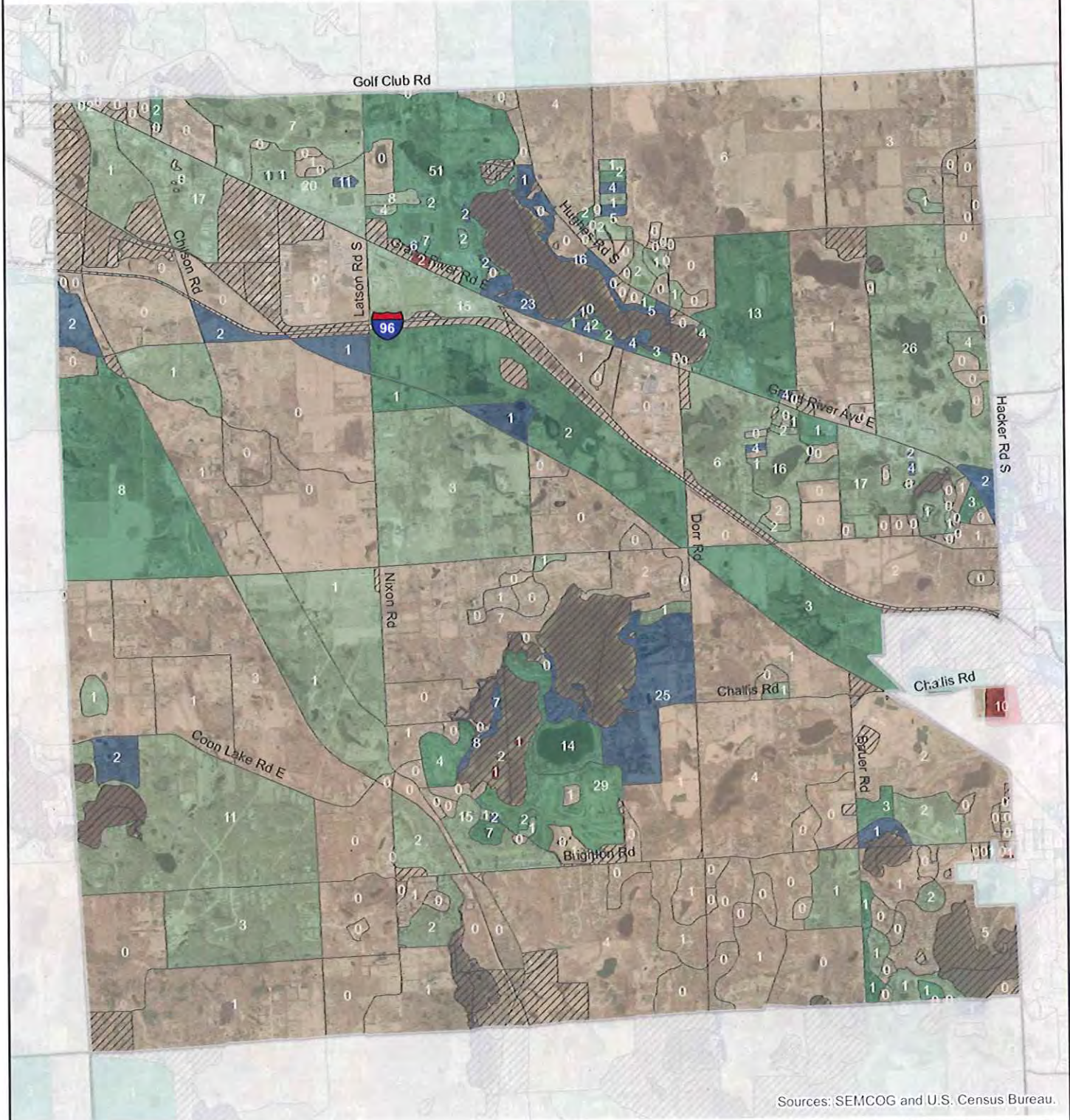
Change in Housing Units per Acre by Census Block Equivalents

- More than 3.0 Gain
- 1.1 to 3.0
- 1.0 to -1.0
- 1.1 to -3.0
- More than 3.0 Loss
- No housing units
- Change in Housing Units per Block



Residential Vacancy Rate, 2010

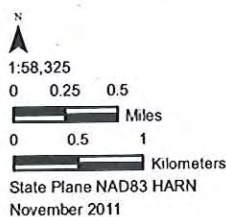
Genoa Township



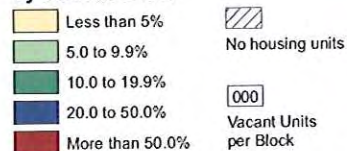
Sources: SEMCOG and U.S. Census Bureau.



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Residential Vacancy Rate by Census Block

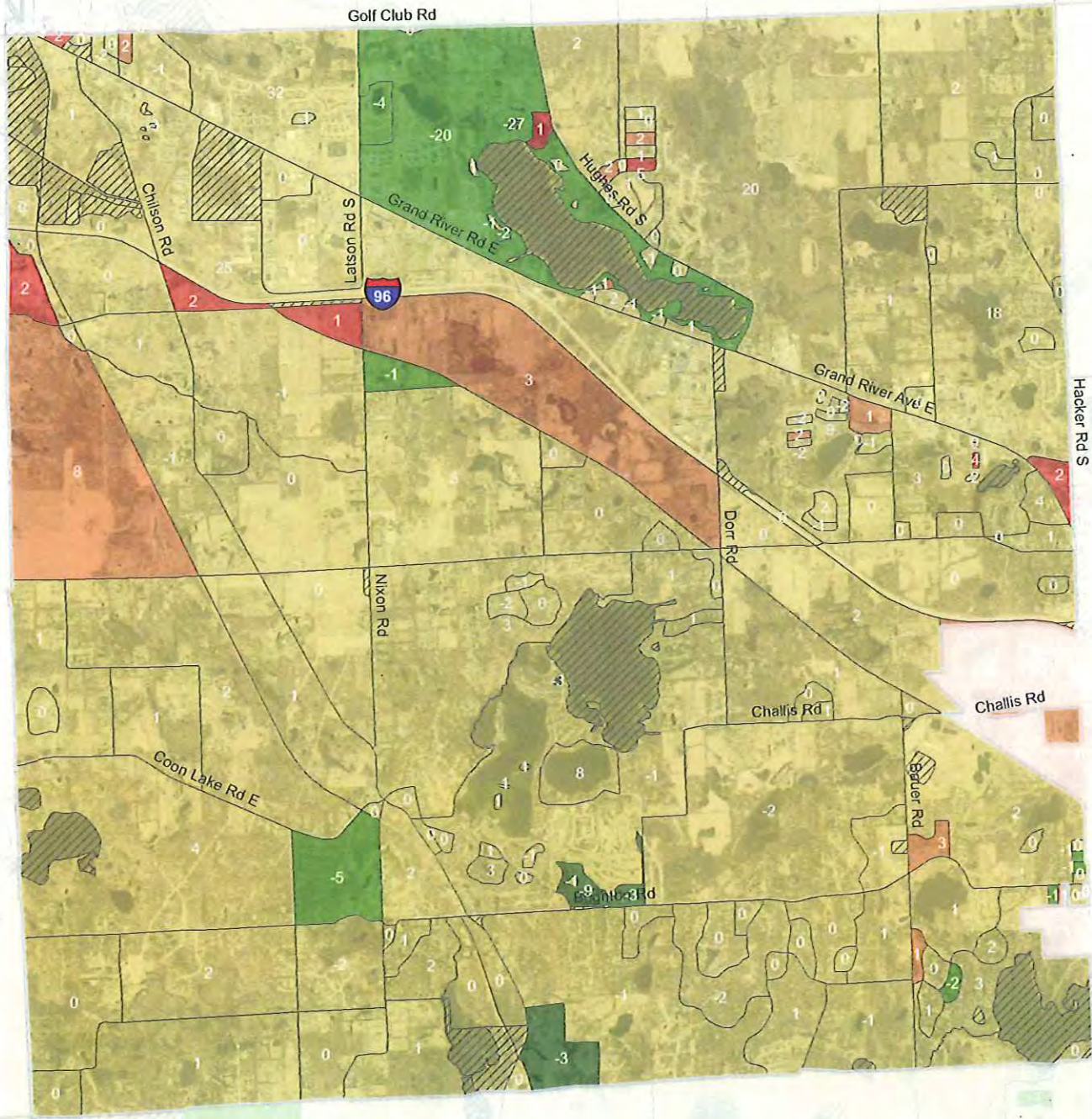


Vacancy Rate Change, 2000-2010

Genoa Township

Map 12

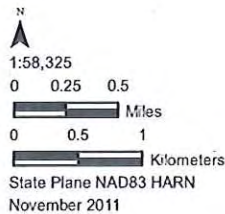
SEMCOG



Sources: SEMCOG and U.S. Census Bureau.

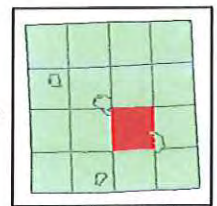


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Change in Vacancy Rate by Census Block Equivalents

- More than 20% decrease
- Decrease of 10 to 20%
- Less than 10% change
- Increase of 10 to 20%
- More than 20% increase
- No housing units
- Change in Vacant Units per Block



Livingston County