

GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
FEBRUARY 15th, 2011
6:30 P.M.

AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 11-03...A request by Maicom/Comcast Cable, Section 11, 6168 E. Grand River, for a use variance to allow in the Genoa Town Center an addition to an existing non-conforming essential public service building with a front yard variance, a building height variance and architectural requirements variance.
2. 11-04...A request by Eli Gergics, Sec. 30, 2062 Webster Park Drive, for a front yard and a waterfront variance to construct a 2nd story addition.
3. 11-05...A request by Ray Henrickson, Sec. 19, 3856 Beattie Road, for a variance to allow a detached accessory structure in the front yard of a non-conforming lot.

ADMINISTRATIVE BUSINESS:

- A. ***Approval of minutes for the January 19th, 2011 Zoning Board of Appeals meeting.***
- B. ***Correspondence***
- C. ***Member Discussion***
- D. ***Adjournment***

Charter Township of Genoa
ZONING BOARD OF APPEALS
FEBRUARY 15th, 2011
CASE #11-03

PROPERTY LOCATION: 6168 E. Grand River

PETITIONER: Maicom/Comcast Cable

ZONING: MDR (Medium Density Residential), NSD (Neighborhood Service District), and TC (Town Center Overlay)

WELL AND SEPTIC INFO: Water and sewer is available

PETITIONERS REQUEST: Requesting a use variance to allow in the Genoa Town Center an addition to an existing non-conforming essential public service building with a front yard variance, a building height variance and architectural requirements variance.

CODE REFERENCE: Section 9.03.01 – Town Center Overlay – Permitted uses
 Section 9.04.01 – Town Center Overlay – Grand River frontage setbacks
 Section 9.05.01 – Town Center Overlay – Commercial architecture

STAFF COMMENTS: Petitioner is seeking to expand a nonconforming public utility building within the Town Center Overlay. Due to the restrictions of the Town Center Overlay, the petitioner needs a use variance in addition to the dimensional and architectural requirement variances. Please see the letter from the Township Planning Director for further information.

If the Board decides in favor of the variance from the architectural requirements then Staff would recommend any motion contain a condition requiring the Planning Commission’s approval of the architectural design.

Please note that the front yard setback applies to the building being too far away from the front lot line (Town Center Overlay restricts buildings to within 0-75 feet from the front lot line). Similarly, the building height variance is from the minimum 20 feet for the existing 14 foot high building and the proposed addition.

	Front	One Side	Other Side	Rear	Height	N/A
Setbacks of Zoning	Maximum 75 feet				20 feet	
Setbacks Requested	435 feet				14 feet	
Variance Amount	360 feet				6 feet	

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 11-03

Meeting Date: 2-15-11 @ 6:30
P.M.

PAID Variance Application Fee (\$125.00 for residential - \$300.00 for commercial/industrial)

Copy of Paperwork to Assessing Department

- **Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)**

Applicant/Owner: MAICOM / COMCAST CABLE

Property Address: 6168 GRAND RIVER Phone: 978-265-0831

Present Zoning: MDR & NSD Tax Code: 11-11-300-013

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: DISTRICT USE: ALLOW ESSENTIAL PUBLIC SERVICE. DIMENSIONAL REQ: SETBACK & BUILDING HEIGHT.

2. Intended property modifications: CONSTRUCT A 19'-4" x 24'-8" x 14'-0" TALL ADDITION.

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) _____

b. Other (explain) _____

Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. *Note: Will need 8 copies of any drawings larger than 8½ and 14 in size.*
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 1.21.11 Signature: [Signature]

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

GENOA TOWNSHIP APPLICATION FOR VARIANCE

Date 1-21-11

Address: 6168 Grand River

Applicant: Maicom Construction Services/Comcast Cable

This variance is requested because of the follow reasons:

District Use:

1. The existing building received site plan and special land use approval in October 1998 in it's current location and use. Adhering to new MDR would require construction of new facility and relocation of critical telecommunication and emergency services equipment.

Dimensional Requirements:

1. The existing building was granted it's current location (set back) via 1998 site plan approval.
2. To utilize a 20'-0" building height in lieu of the proposed 14'-0" height would pose an unsightly finished product considering the existing building eave height is 9'-0".



Genoa Charter Township

2911 Dorr Road • Brighton, Michigan 48116 • (810) 227-5225 • Fax (810) 227-3420 • www.genoa.org

February 9, 2011

Zoning Board of Appeals
Genoa Charter Township
2911 Dorr Road
Brighton, Michigan 48116

Subject: Variance Request Review: Comcast – Equipment Storage Building Addition
Location: 6168 W. Grand River, Brighton
Zoning: MDR / Town Center
Applicant: Maicom Construction Services/Comcast Cable

Dear Board of Appeals:

I have reviewed the above referenced variance application and site plan dated January 10, 2011 for an 476.8 square foot equipment building addition on the west side of the existing building located at 6168 W. Grand River, Brighton. The site is located on the south side of Grand River, east of Dorr Road. I have reviewed the plan for compliance with the criteria applicable to variances as presented in Article 23 of the Zoning Ordinance.

Existing Use: The site is currently being used as an equipment storage building. The site has an underlying zoning of Medium Density Residential (MDR) and is within the Town Center overlay district. Essential Public Service buildings are a special land use in the MDR district. The existing building received site plan and special land use approval in October 1998. The Town Center overlay district does not permit essential public service buildings therefore this is considered a non-conforming use in the Overlay district.

Variance Issues:

1. **District/Use:** The Town Center overlay district requires that any expansion of an existing use shall comply with the Town Center Overlay district. Essential Public Service buildings are not permitted in the Town Center district therefore the applicant is requesting a variance to expand the non-conforming use. The criteria applicable to use variances is discussed below:

- a) **Unreasonable Current Zoning Designation.** *The applicant has demonstrated that the site cannot reasonably be used for any of the uses allowed within the current zoning district designation. The Board of Appeals may require submission of documentation from professionals or certified experts to substantiate this finding.*

Supervisor
Gary T. McCririe

Clerk
Paulette A. Skolarus

Treasurer
Robin L. Hunt

Manager
Michael C. Archinal

Trustees

H. James Mortensen • Jean W. Ledford • Todd W. Smith • Steven Wildman

Due to the design of the existing building and the underground utilities servicing the building it is my opinion that this building and the portion of the property on which it is located could not be used for any of the permitted uses in the Town Center District.

- (b) **Unique Circumstances.** The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district. The applicant must prove that there are certain features or conditions of the land that are not generally applicable throughout the zone and that these features make it impossible to earn a reasonable return without some adjustment.*

The subject property is unique in that the existing use was permitted in the underlying zoning district and also in the fact that it is occupied by an essential public service building. This facility houses critical telecommunication and emergency services equipment essential to public health, safety and welfare.

- (c) **Not Self-Created.** The problem and resulting need for the variance has not been self-created. The Board of Appeals shall consider changes made to the property by the applicant and near term predecessors.*

The rezoning of the land to the Town Center Overlay was initiated by the Township therefore the need for the variance is not self-created.

- (d) **Capacity of Roads, Infrastructure and Public Services.** The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised.*

The use and the proposed addition to the existing building are not anticipated to compromise roads, infrastructure or public services.

- (e) **Character of Neighborhood.** The use variance will not alter the essential character of the neighborhood nor be a detriment to adjacent properties.*

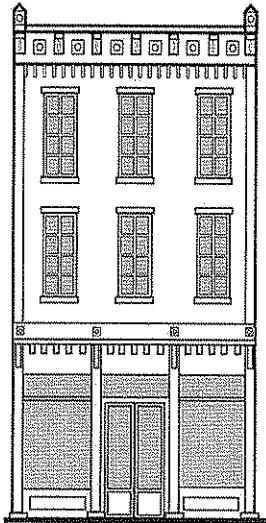
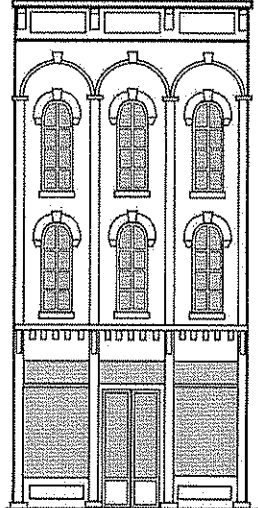
This is an existing use and neither it nor an expansion to it will impact the character of the neighborhood.

2. **Dimensional/Architectural Requirements:** The proposal involves construction of a 476.8 square foot addition at the northwest corner of the existing building. The proposed addition does not comply with the front setback, building height, or architectural standards of the Town Center district as presented in the table below. Following the table, the criteria applicable to dimensional variances as they relate to the Town Center standards are discussed.

Dimensional Requirements:

	Front Setback	Building Height
Required	Minimum 0' / Maximum 75'	Min. 20'
Proposed	435''	14'
Variance Requested	Exceed Max. Setback by 360'	6'

Architectural Requirements:

<p>Building types permitted</p>	<p>Nonresidential and mixed-use buildings shall be designed with traditional styles of architecture, similar to that found in downtown Brighton and Howell. Buildings shall front onto the sidewalk with windows, doors, and architectural detailing customary of traditional storefronts and contain varying materials, and appearances.</p>	 <p>Traditional architectural styles similar to downtown Brighton and Howell.</p> <p>Mixed use building with retail on main level and office or residential on upper floors.</p> <p>Main pedestrian entrance located on street front.</p>
<p>Front façade requirements</p>	<p>All buildings shall have a main entrance that is located on at least one street front. Main entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas.</p>	
<p>Windows and doors</p>	<p>(a) Storefront/Ground Floor. No less than 70% of the storefront/ground floor façade shall be clear glass panels and doorway. Required window areas shall be either windows that allow views into retail space, working areas or lobbies, pedestrian entrances, or display windows set into the wall. Windows shall not be blocked with opaque materials or the back of shelving units. The bottom of the window must be no more than 4 feet above the adjacent exterior grade.</p> <p>(b) The front entranceway shall be inset a minimum of three feet from the front building wall.</p>	 <p>Flat roof with traditional cornice proportionate to building and parapet wall tall enough to screen rooftop equipment.</p> <p>Upper story windows comprise less than 50% of facade and are vertical in proportion.</p> <p>Design separation between 1st and 2nd stories with cornice or other feature.</p> <p>Windows and doors comprise a minimum of 70% of the first story facing the street.</p>
<p>Roof design</p>	<p>(a) Pitched and mansard roofs shall not be permitted with eaves below a height of 20 feet.</p>	

The criteria applicable to dimensional variances in Article 23 are discussed below:

- (a) ***Practical Difficulty/Substantial Justice.*** *Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.*

Compliance with Town Center front setback would unreasonably prevent the use of the rear of this property because of the depth of the existing parcel. Additionally the maximum setback requirement prohibits the expansion of the existing building on a large parcel thus impacting the property owner's right to use the rear of the property.

In regard to the minimum height requirement, allowing for an addition to match the existing building would do substantial justice to the applicant and other owners in the district by allowing them the right to add on to an existing structure.

Compliance with the Town Center architectural standards would not allow the continued use as an essential public services building. These standards do not contemplate this use and unreasonably restrict the applicants ability expand upon the existing use.

- (b) ***Extraordinary Circumstances.*** *There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.*

This property is occupied by a previously approved essential public service building. Essential public service uses and buildings are unique in that they serve to enhance and protect the public health, safety and welfare. This facility provides for critical telecommunication and emergency services equipment and is the only such parcel with this use in the Town Center district. The need for the variance results from a Township initiated rezoning which was not self-created by the applicant.

- (c) ***Public Safety and Welfare.*** *The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.*

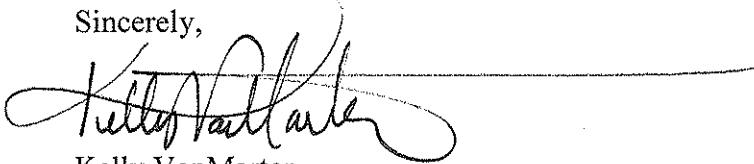
Granting of the variance will promote and improve public safety and welfare.

(d) Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

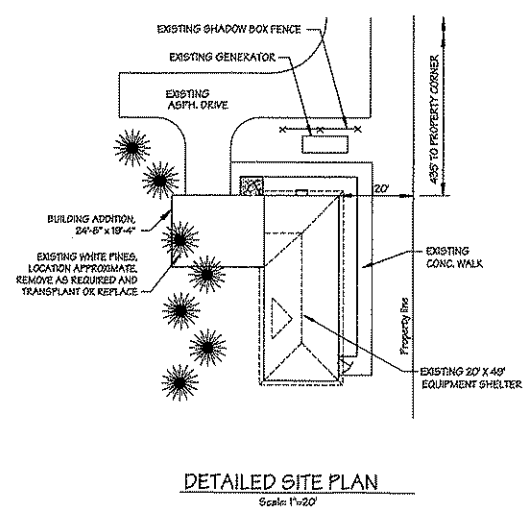
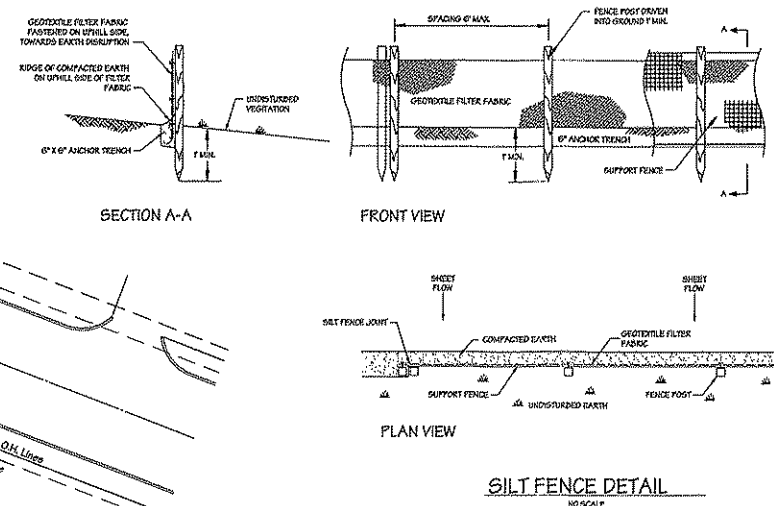
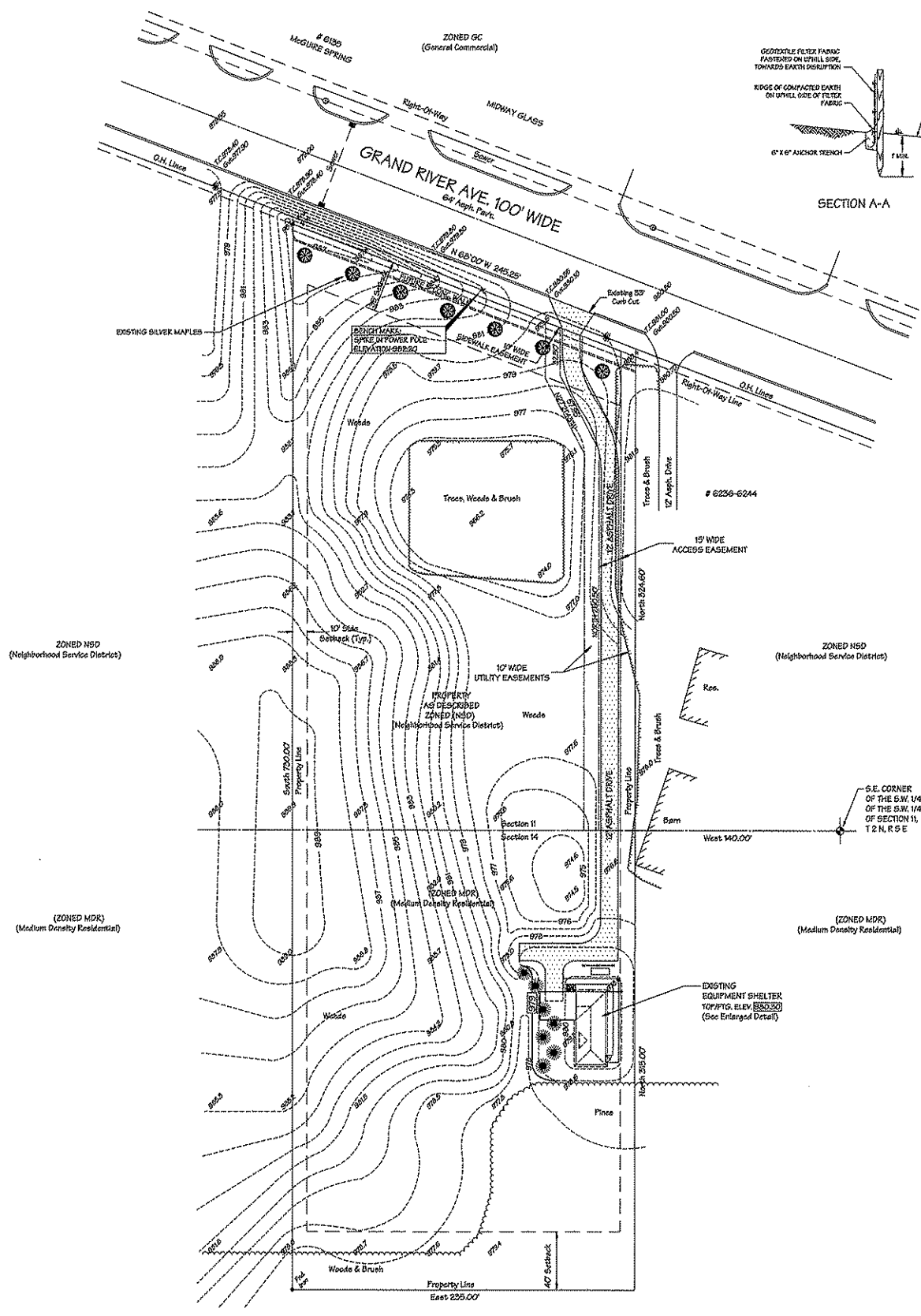
Granting the front setback, height, and architectural standards variances will not have any negative impact on the surrounding neighborhood.

In final, I would like to inform that Zoning Board that staff is taking action to amend the Town Center section of the Zoning Ordinance to allow the Planning Commission more flexibility in regulating form for existing buildings in an attempt to avoid the requirement for so many variances in the future. Should you have any questions concerning this matter, please don't hesitate to contact me at (810) 227-5225.

Sincerely,

A handwritten signature in cursive script, reading "Kelly VanMarter", is written over a horizontal line. The signature is fluid and extends across the line.

Kelly VanMarter
Planning Director



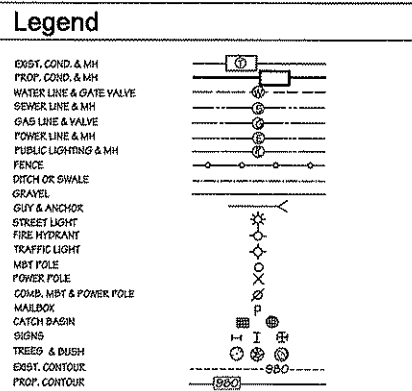
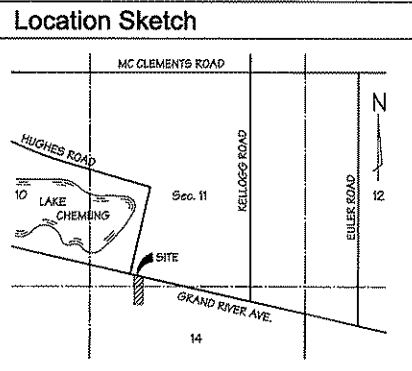
- ### General Notes
- All proposed construction shall be in accordance with the current Standards and Specifications of Genoa Township, where applicable.
 - The equipment shelter with the proposed addition is a one story, 1036 square foot unattached structure. No water service or sanitary facilities are needed. Telephone and electrical services will be from an existing utility pole or line adjacent to the site. No towers, dishes or antennas are associated with this building.
 - There will be no hazardous materials on the site. There will be no need for outdoor storage or garbage disposal and pick-up. The building does not create any air pollution or believed to have any negative impacts on the environment.
 - Van type service vehicles enter and exit the equipment shelter site approximately 1 to 2 times per week. No loading or unloading area is needed by them. There will be no overnight parking.
 - There will be no change in the drainage pattern of the site due to the proposed installation.
 - Existing features of site to be retained, with few small trees and ground surface of weeds and brush. All areas disturbed by Construction shall be restored in kind, unless otherwise noted.
 - Exterior lighting consists of four (4) photocell fixtures, one on each end of the building and one next to each door. Lighting will be shielded from neighboring residential use and public right-of-way.
 - Landscape maintenance agreement. "Contractor agree to a seasonal maintenance program and will replace all diseased or dead plants, replenish mulch, control weeds, fertilize and prune beginning upon completion of landscaping". Site to be graded and seeded under a certified straw mulch.
 - Debris will be picked up within the property limits weekly or as needed.
 - Soil erosion and sedimentation control measures such as straw bale berm or silt fence shall be used during construction to contain sedimentation on site.
 - Percentage of building coverage (1036 square feet) and impervious surface of asphalt drive and walk (1037 square feet) versus total lot area 3.6 acres (156,810 square feet) equals 1.67%.
 - Site information taken from drawing 1 of 1, Job No. 99-021, prepared by P.E.A. of Michigan.

Legal Description

LEGAL DESCRIPTION (genoa township assessor)
 Land located in the southwest 1/4 of the southwest 1/4 of section 11, and the southwest 1/4 of the northwest 1/4 of section 14, T 2 N, R 5 E, Genoa Township, Livingston County, Michigan, described as commencing at the southeast corner of the southwest 1/4 of the southwest 1/4 of said section 11, thence West 140.00' to the point of beginning; thence North 224.80' thence North 69°00' W 295.00' thence South 78.00' thence East 295.00' thence North 215.00' to the point of beginning, containing 3.6 acres.

LEGAL DESCRIPTION FOR A 10' WIDE UTILITY EASEMENT
 The East 10' of the above described property except the South 215', also commencing at the Southeast corner of the Southwest 1/4 of Southwest 1/4 of said section 11; thence West 155.00' to the point of beginning; thence North 250.50'; thence North 22°14'3" W 67.95'; thence North 32.50' to the point of ending, said 10' easement lying entirely west of described line.

LEGAL DESCRIPTION FOR A 15' WIDE ACCESS EASEMENT
 Described as commencing at the Southeast corner of the Southwest 1/4 of Southwest 1/4 of said section 11; thence West 155.00' to the point of beginning; thence North 250.50'; thence North 22°14'3" W 67.95'; thence North 32.50' to the point of ending, said 15' easement lying entirely west of described line.



ISSUED
 12-19-10 Site Plan Review
 10-11 Bld

REVISED

MAI/COM
 CONSULTING ARCHITECTS
 100 Cummings Center, Suite 347C
 Beverly, MA 01915

Building Addition To
Comcast Brighton
 Genoa Township, Michigan

Site Plan

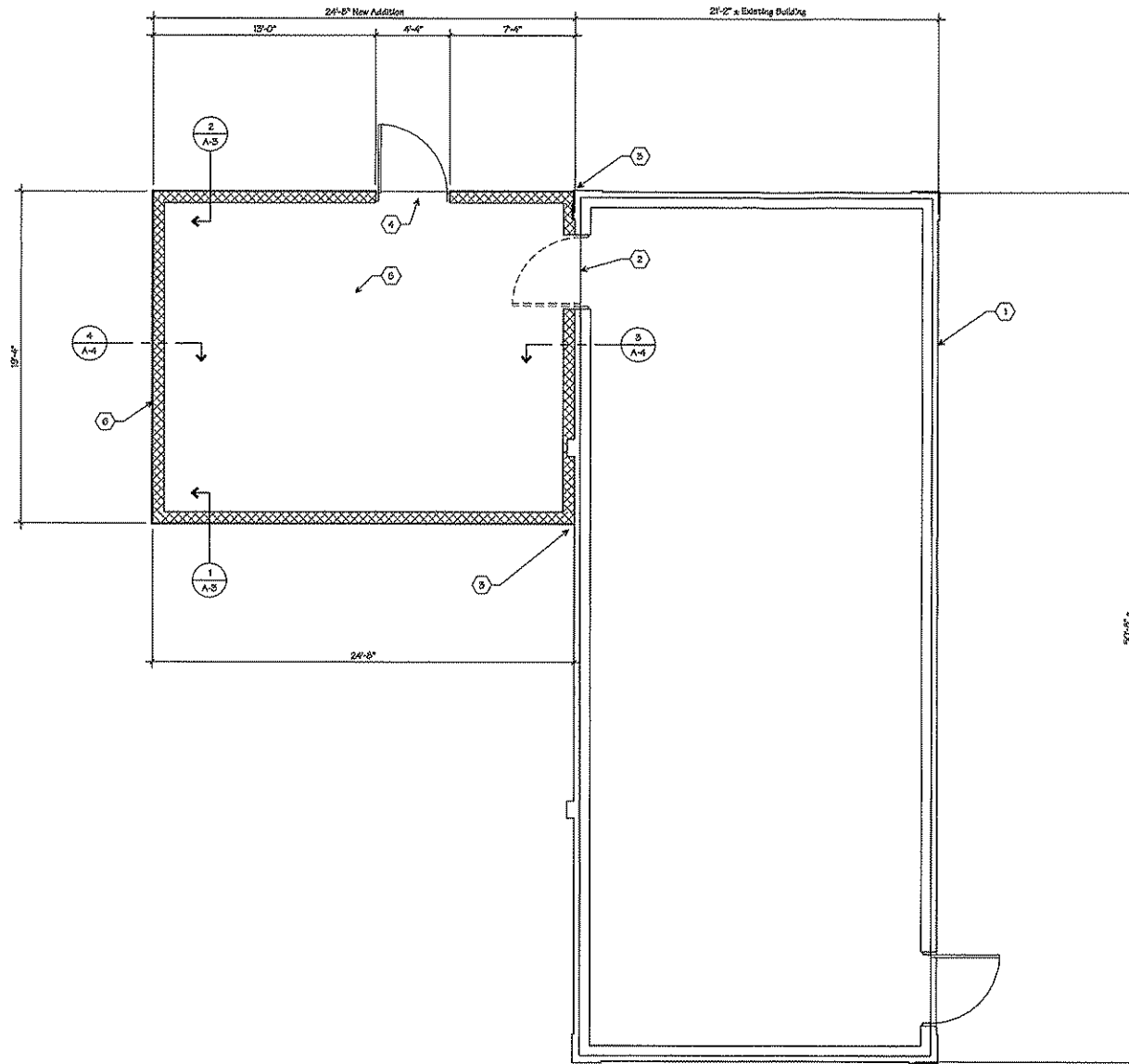
Michael McKeivey Architect
 5900 Greenbush Court
 Ann Arbor, Michigan 48106
 Phone: (734) 416-2554 Fax: (734) 416-2554

December 6, 2010

1" = 40'

31137

C-1



General Notes

1. The Building is Use Group U.
2. The Construction Type is V-B.
3. Per Table 603 the allowable building area is 5,500 s.f.
4. Actual building area, existing + addition, is 1526 s.f.
5. Provide fire extinguishers, bearing the label of an approved agency, in accordance with NFPA 12, the 2000 International Fire Code and as required by the Genoa Township Fire Department prior to occupancy.
6. Interior wall and ceiling finishes must be Class C or better per ASTM E84. Contractor to submit evidence of compliance.
7. All means of egress doors shall be readily operable from the egress side from which egress is to be made without the use of a key or special knowledge or effort.
8. Exit signs and power source must comply with Code Section 1009.2.10. Verify all exit sign locations with Fire Marshal and Building Inspector.
9. Emergency lighting shall be powered by an emergency electrical system which complies with Code Sections 1009.2.11.
10. Contractor to provide complete details indicating the size, color, illumination and power source for all required "Exit" signs as well as the illumination and power source of the emergency means of egress lighting.
11. All foam plastic (rigid insulation) for use in the foundation and roof construction must meet the code's surface burning characteristics and be labeled. Contractor to submit evidence of compliance to building official.
12. Roof covering must be Class C minimum. Submit evidence of the roof covering's fire classification when tested in accordance with ASTM E108.
13. Electrical and mechanical controls and outlets and alarm or warning actuating devices shall not be more than 48 inches above the floor.
14. Handles, pulls, latches, locks and other operating devices on all new required egress doors shall have a shape which is easy to grasp with one hand and which does not require tight grasping, pinching or twisting of the wrist to operate.
15. Floor Tile: The floor tile shall be a 1/8-inch vinyl composition tile (VCT) in a medium to light contrasting color. Apply a clean protective floor polish.
16. Wall Base: Apply a 3- or 4-inch vinyl resilient wall base to walls, columns, pilasters, casework, and other permanent fixtures continuous between door jambs throughout the room.
17. Wall and Ceiling Finish: The wall and ceiling finish shall be smooth and clean. Walls and ceilings shall be primed and painted with a factory-formulated, off-white latex semi-gloss or satin finish. Underside of roof decking can be painted in a contrasting color or same color.
18. Jambs and Doors: Steel doors and jambs shall be primed and painted with emulsion, odorless alkyl enamel.
19. Workmanship - Construction methods and procedures shall be in accordance to manufacturers' installation directions and requirements.

Sheet Keynotes

1. Existing construction
2. Remove existing door and frame; patch opening.
3. Provide control joint and adjustable wall ties anchored to existing building @ 32" o.c.
4. Insulated hollow metal door, 4'-0" x 7'-10", with weatherstripping and threshold, 3-hr fire resistance rating.
5. Concrete slab.
6. EZ-Wall thin brick over 8" concrete block. Brick to match existing color and texture, 4-hr fire resistance.

ISSUED
12-13-10 Site Plan Review
1-10-11 Date

REVISED

MAICOM
CORPORATION
100 Cummings Center, Suite 347C
Beverly, MA 01915

Building Addition To
Comcast Brighton
Genoa Township, Michigan
Floor Plan

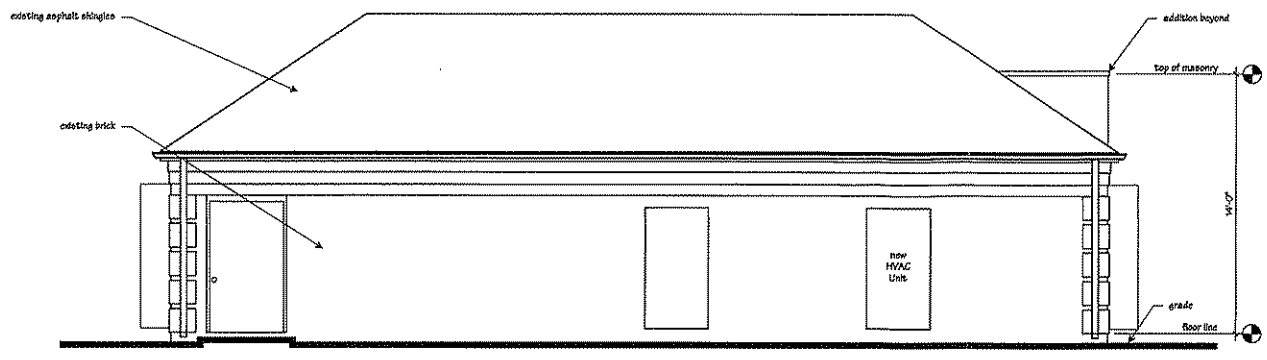
**Michael
McKeivrey
Architect**
Ann Arbor, Michigan 48106
6900 Greenow Court
Phone: (734) 419-2804
Fax: (734) 419-2181

December 6, 2010

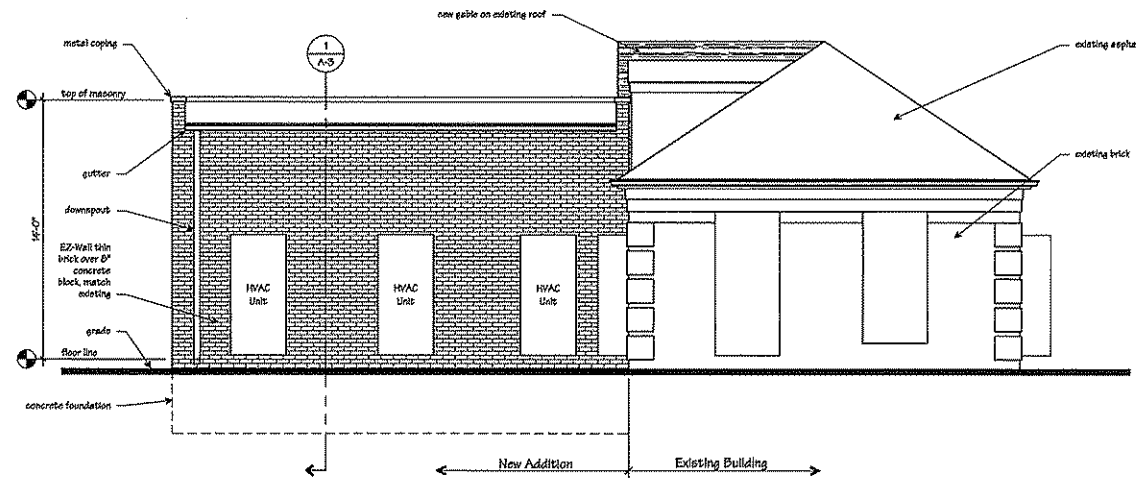
1/4" = 1'-0"

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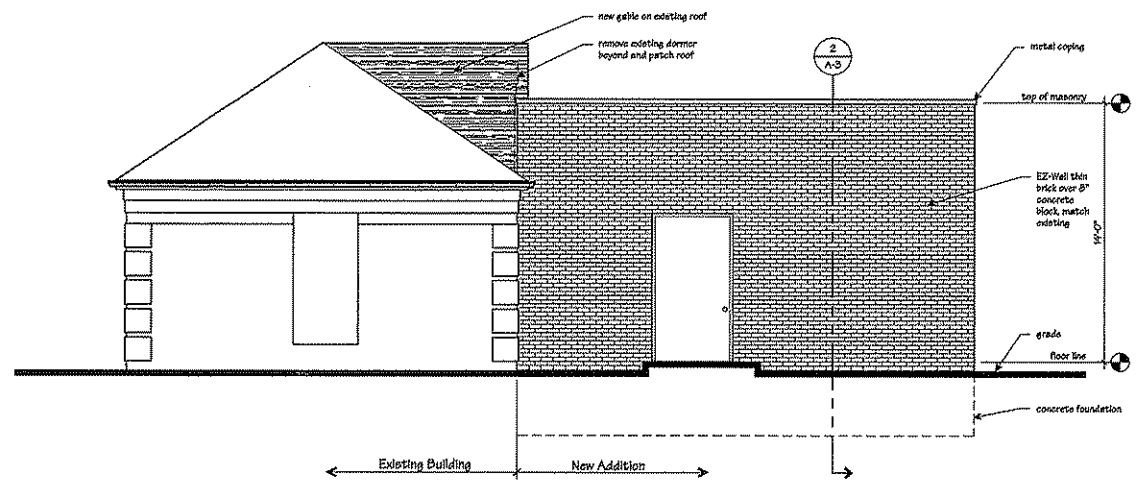
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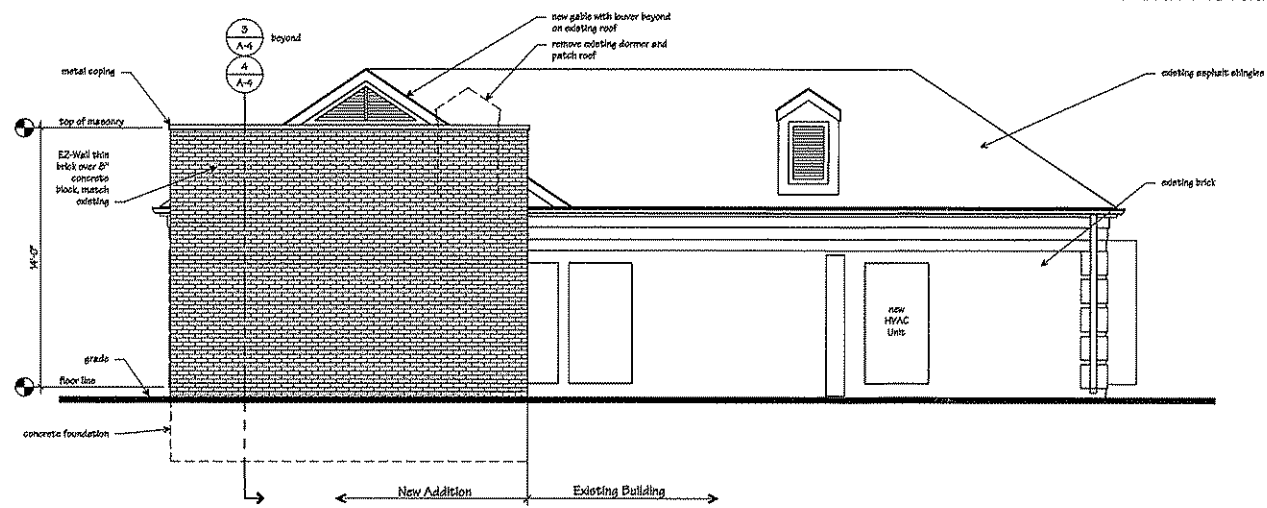
East Elevation (existing)



South Elevation

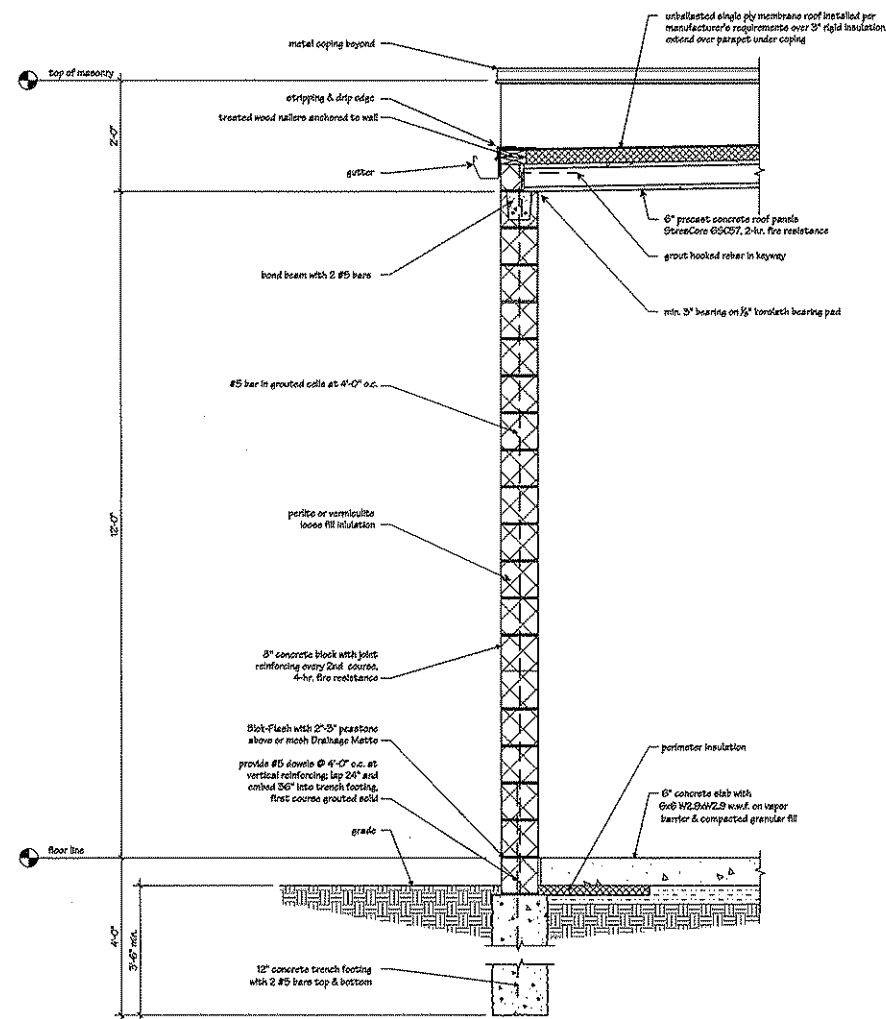


North Elevation



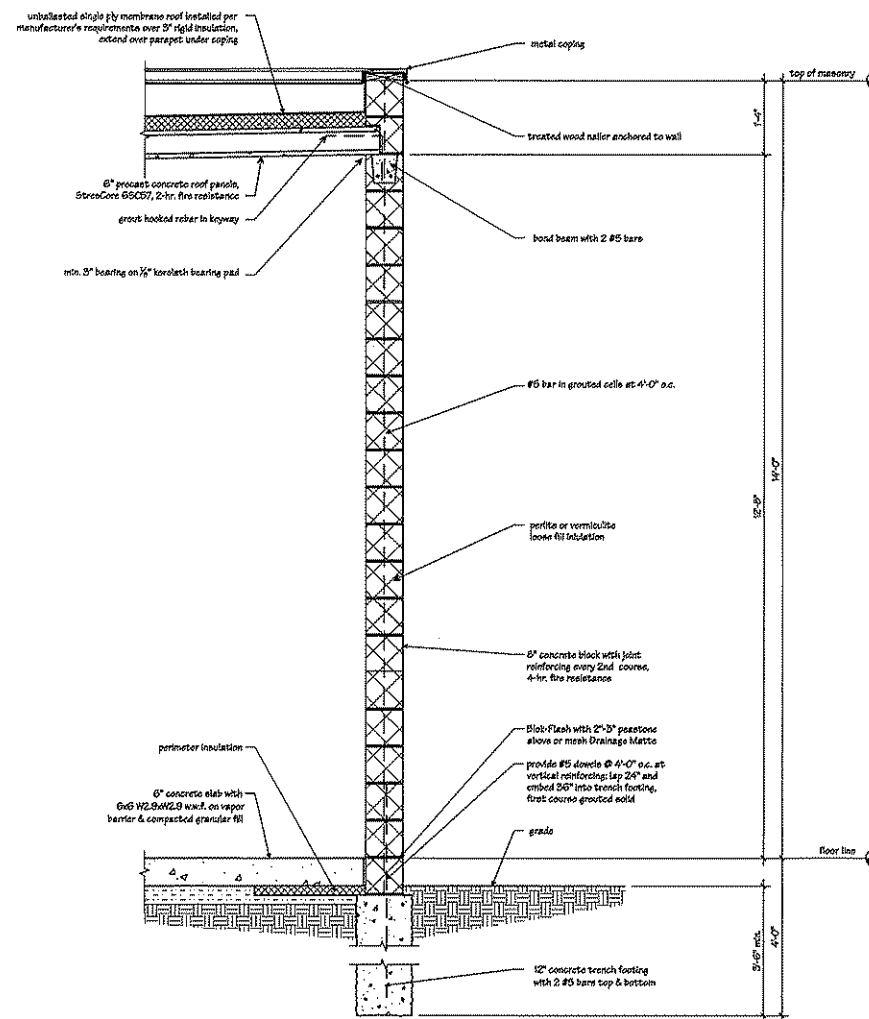
West Elevation

ISSUED 12-15-10 Site Plan Review 1-10-11 Bids
REVISED
MAIACOM CONSTRUCTION SERVICES 100 Cummings Center, Suite 347C Beverly, MA 01915
Building Addition To Comcast Brighton Genoa Township, Michigan Elevations
Michael McKeivey Architect Architects 5900 Cassin Court Farmington Hills, MI 48334 Phone: (248) 418-2584 Fax: (248) 418-2581
December 6, 2010
1/4" = 1'-0"
31137
A-2




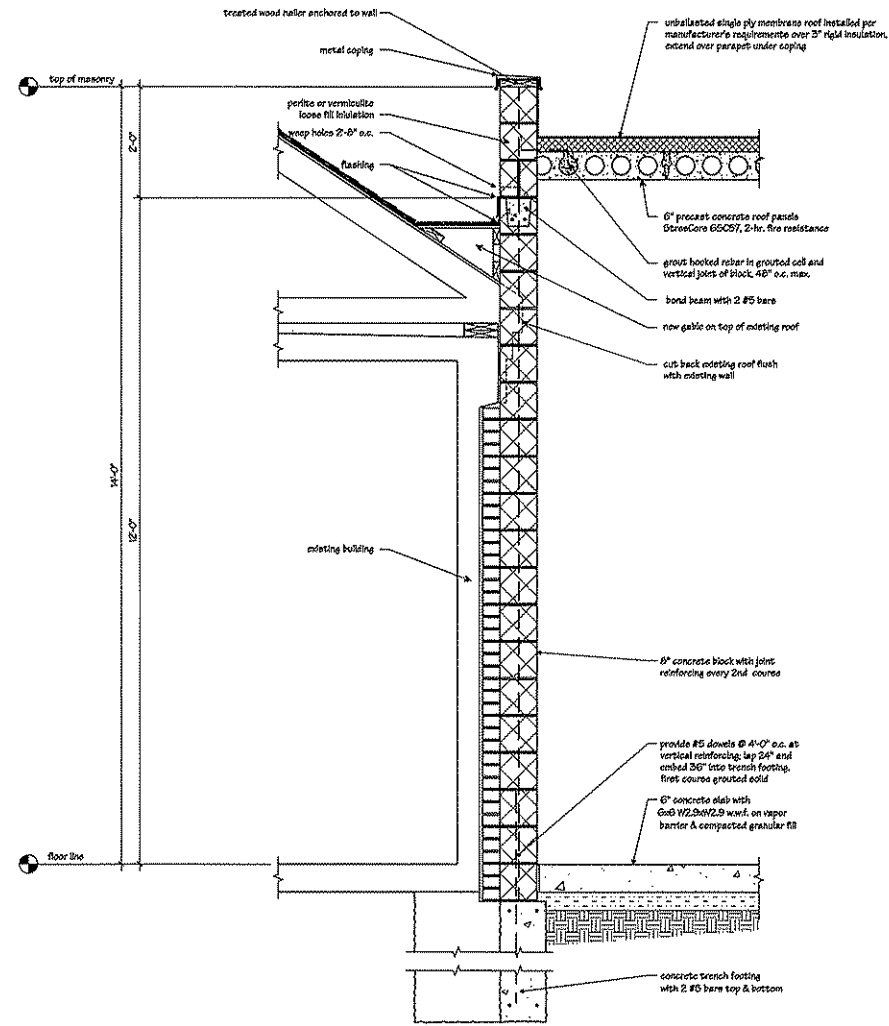
1 S. Wall Section
A-1,2

Provide 2 #5 verticals at all wall terminations, wall openings and corners.

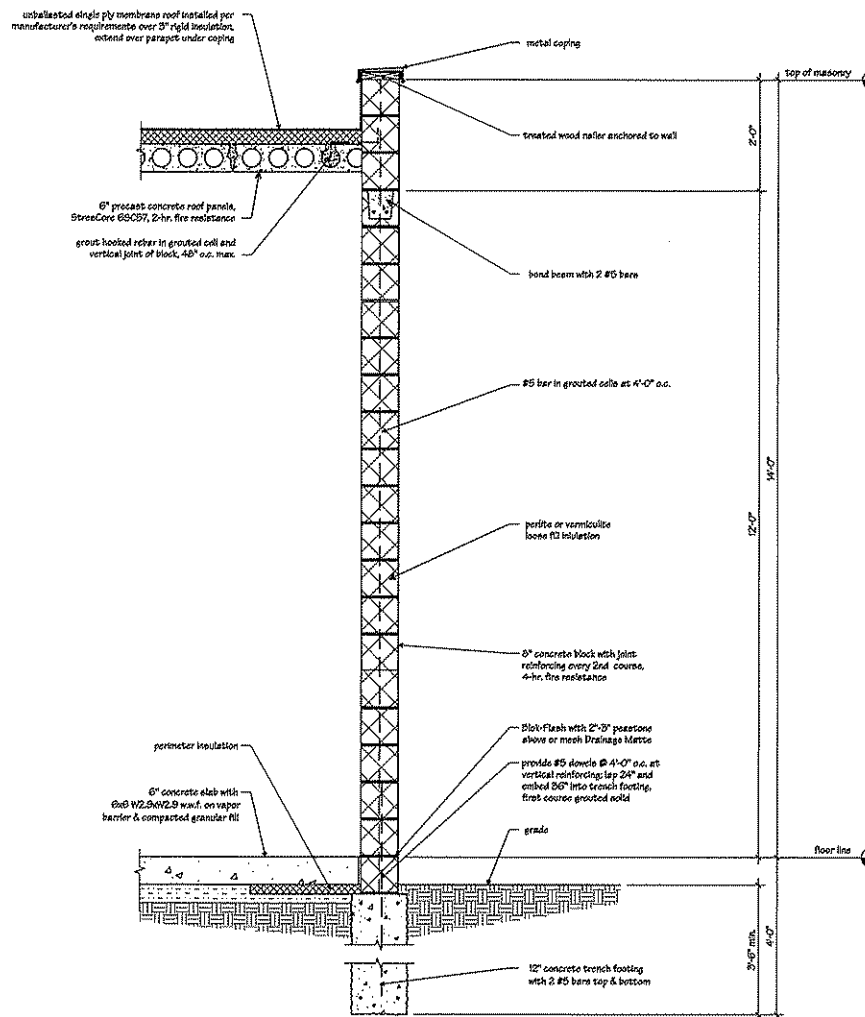


2 N. Wall Section
A-1,2

ISSUED 1-10-11 Bldg
REVISED
 MAICOM CONSTRUCTION SERVICES 100 Cummings Center, Suite 347C Beverly, MA 01915
Building Addition To Comcast Brighton Genoa Township, Michigan Wall Sections
 Michael McKeivey Architect Ann Arbor, Michigan 48106 6900 Casskay Court Phone: (734) 418-2254 Fax: (734) 418-2181
December 6, 2010
3/4" = 1'-0"
31137
A-3

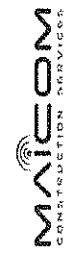
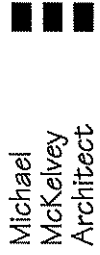


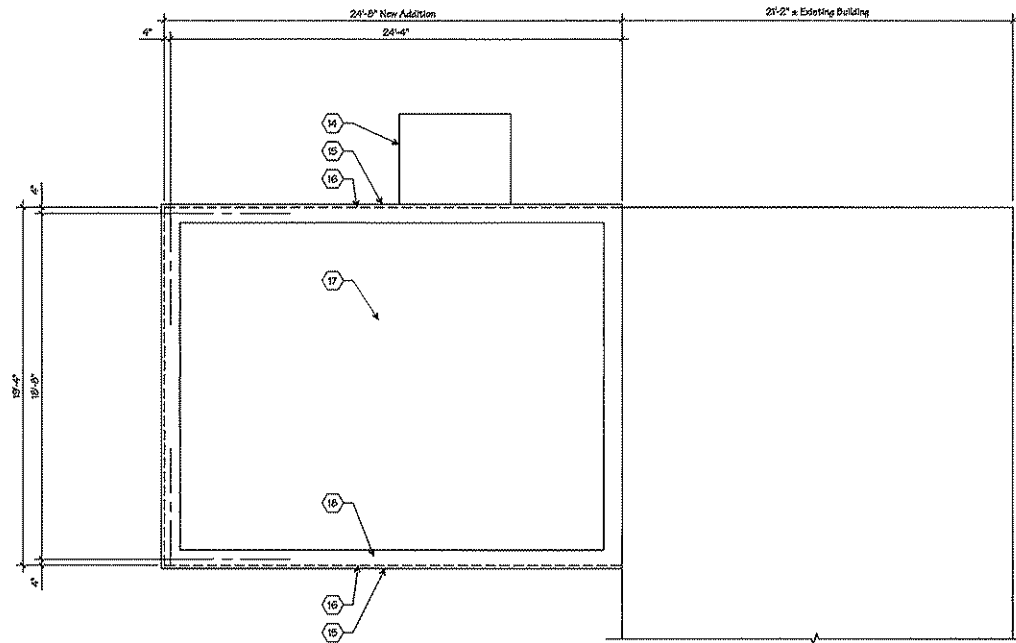
3 E. Wall Section
A-1,2



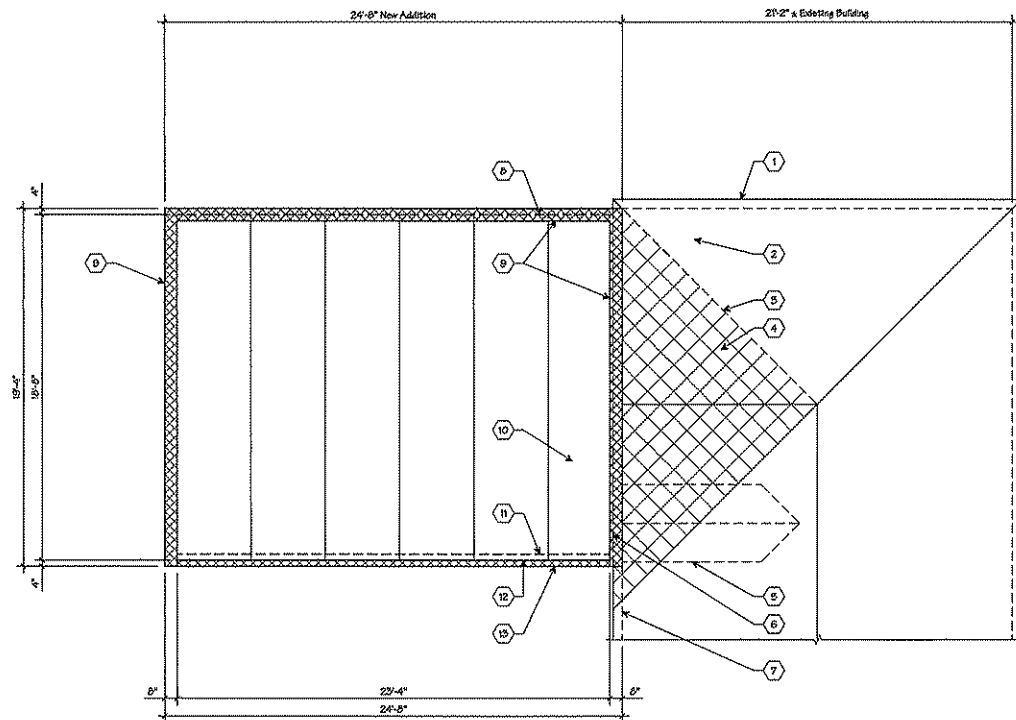
4 W. Wall Section
A-1,2

Provide 2 #5 verticals at all wall terminations, wall openings and corners.

ISSUED 1-10-11 Bldg
REVISED
 100 Cummings Center, Suite 347C Beverly, MA 01915
Building Addition To Comcast Brighton Genoa Township, Michigan Wall Sections
 Michael McKelvey Architect 8900 Crestline Court Ann Arbor, Michigan 48103 Phone: (734) 418-2594
December 6, 2010
3/4" = 1'-0"
31137
A-4



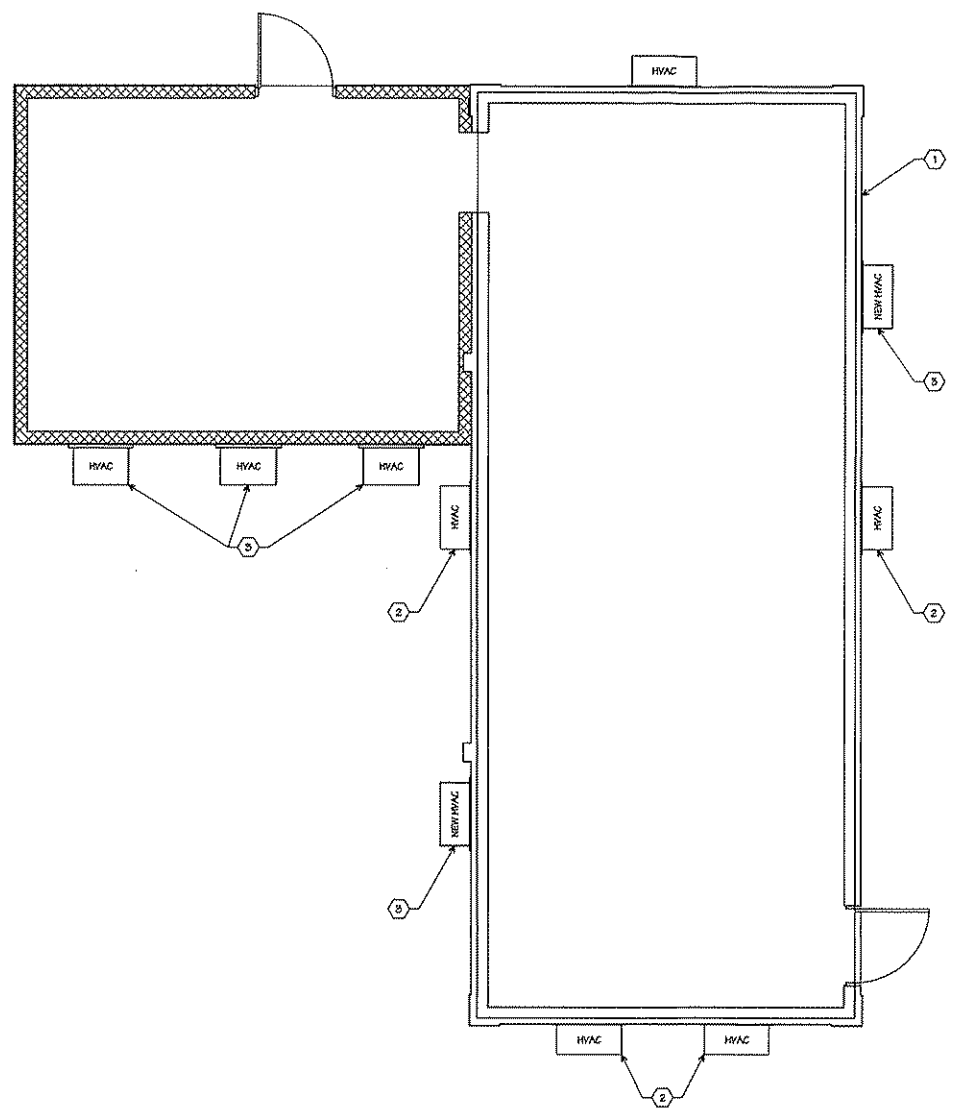
Foundation Plan



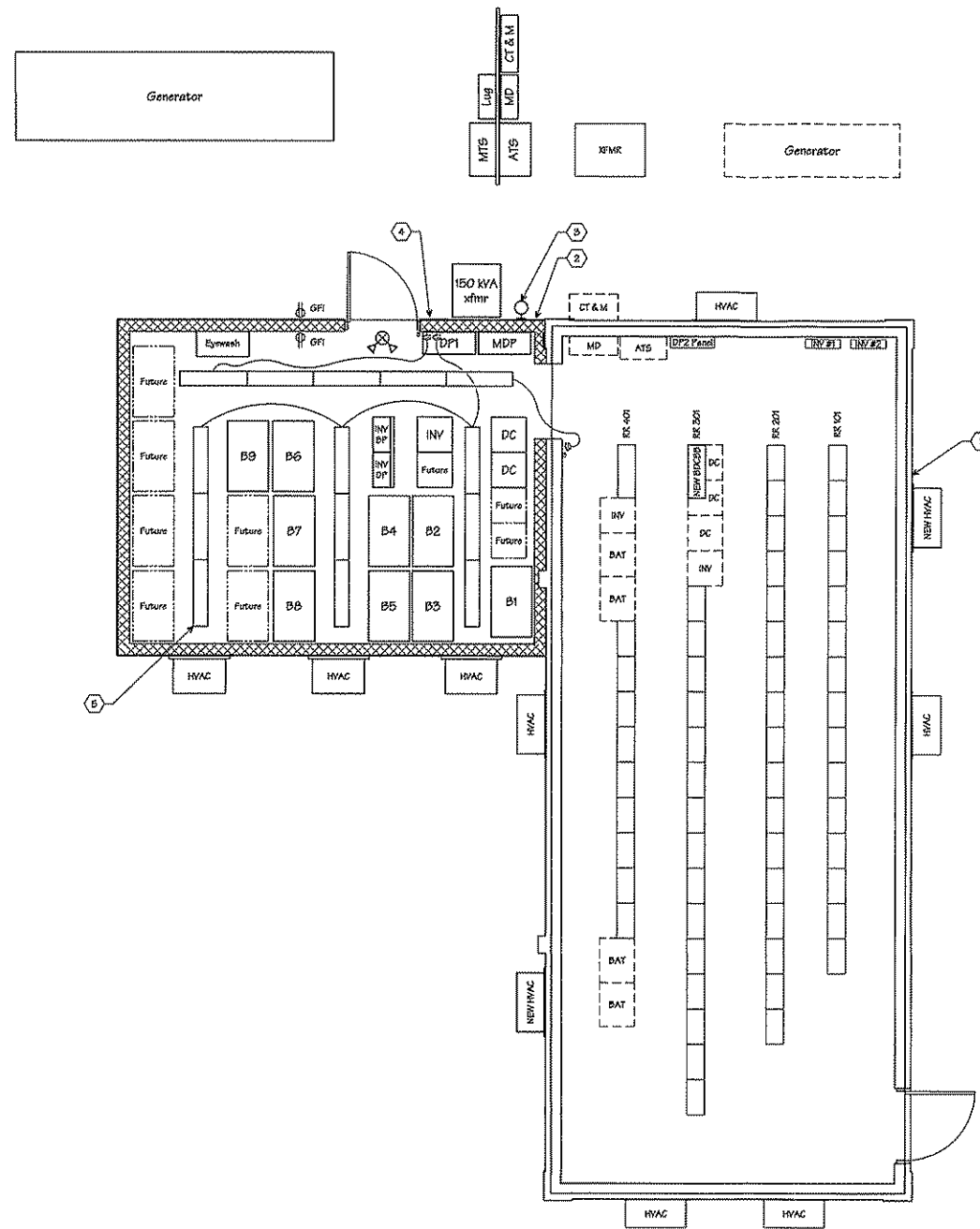
Roof Framing Plan



Sheet Keynotes	General Foundation Notes	ISSUED
<ol style="list-style-type: none"> 1. Edge of existing roof. 2. Existing roof. 3. Existing hip line. 4. New roof built up over existing. Match existing eaves. 5. Remove existing dormer and patch roof. Add new roof ventilation equivalent to dormer lever. 6. Cut back existing roof overhang at new wall. Add new roof ventilation equivalent to removed soffits vents. 7. Existing wall below. 8. Panel embedded in wall. Min. panel bearing 3" at 12'-8" a.f.f. 9. Parapet extending up from wall below. 10. StressCore 60C160 6" precast concrete roof panels. 11. Inner face of wall below. 12. Min. panel bearing 3" @ 12'-0" a.f.f. 13. Concrete block to top of precast panels. 14. 6" x 8" x 48" masonry poured pad at mitr door, door latch side 18" from door opening. 15. 12" concrete trench footing with 2 #3 bars top and bottom. 16. Wall above. 17. 6" concrete slab with 6x6 W2.5x12.5 wwf. 18. Provide #5 dowels @ 48" o.c. extending 24" above top of footing centered in masonry cells. 	<ol style="list-style-type: none"> 1. Foundation design is based on an assumed soil bearing capacity of 3000 psf. as depth indicated. If that bearing capacity is not available, foundation design must be re-evaluated. 2. If utilities or other underground obstructions are encountered in the area of the foundation, they shall be protected or removed as directed by a geotechnical engineer. 3. Top of trench footing is 8" below top of slab (except as noted). 4. Bottom of trench footing and column footings is 4'-0" below top of slab (except as noted). 5. Footing dimensions are nominal. They may be larger. 6. Defoamers shall conform to ASTM A-305 & A-615, Grade 60. Welded wire fabric shall conform to ASTM A-195, Fy = 60 ksi. 7. Reinforcing bars and splices shall conform to ACI 308-8S. At corners, bend and lap all horizontal reinforcement at far face. 8. Concrete for foundations shall have a minimum compressive strength of 3000 psi at 28 days. Concrete for slabs shall have a minimum compressive strength of 3500 psi at 28 days. Use no concrete admixtures containing chlorides. 	<p>ISSUED</p> <p>1-10-11 B&E</p>
	General Structural Notes	REVISIED
	<p>Roof Loading</p> <p>Ground Snow Load: 25 psf Flat Roof Snow Load: 17.5 psf (s = 0.7 * Cs + (Ss + Is)) Snow Exposure Factor: 1.0 (partially exposed) Snow load Importance Factor 1.0 (category type 1) Thermal factor: 1.0 (general structure)</p> <p>Wind Loading</p> <p>Basic Wind Speed: 90 mph (3-second gust) Wind Importance Factor: 1.0 (category type 1) Wind Exposure: Exposure B (urban & suburban)</p> <p>Earthquake Design Data</p> <p>Seismic Importance Factor: 1.0 (category type 1) Site Class: D (soft soil profile)</p> <p>Precast Hollow-Core Concrete Panels</p> <ol style="list-style-type: none"> 1. All concrete materials shall be clean and properly graded. The concrete shall have a minimum compressive strength of 3,500 psi at release of prestressed strands and 6,500 psi at 28 days. 2. Prestressing strands shall be uncoated and conform to ASTM C-468. 3. Portland cement shall conform to ASTM C-150. 4. Concrete aggregates shall conform to ASTM C-33. 5. Admixtures shall not be permitted. 6. Grout all joints with a 3:1 sand/cement mix. 7. Field cutting openings greater than 6" in diameter shall not be permitted. Field cutting through the prestressed strands shall not be permitted. <p>Masonry</p> <ol style="list-style-type: none"> 1. All masonry construction shall comply with the requirements of ACI-308. 2. Load bearing concrete masonry shall conform to ASTM C-90 and have a minimum compressive strength of 1,900 psi (average of 3 units). 3. Provide precast lintels at door and lintel openings. 4. Masonry mortar shall conform to ASTM C-270 and C-91. Minimum compressive strength at 28 days for mortar shall be as follows unless noted otherwise: Type S concrete masonry = 1,800 psi 5. Grout shall conform to ASTM C-476 and have a minimum compressive strength at 28 days of 2,500 psi. 6. Masonry bed and head joints shall be 3/8". 7. Wall ties shall be embedded in mortar joints. Horizontal joint reinforcing with galvanized steel wire conforming to ASTM A-62 and A-95 shall be 2" less than the nominal thickness of the masonry in length of not less than 12'-0". Provide prefabricated corner and tee as needed. 8. Weep holes shall be provided in the outside wythe of masonry walls at a maximum of 32" on center. 9. No masonry shall be laid when the ambient temperature falls below 40°F, unless the cold weather construction provisions of ACI 308 are strictly followed. 10. Provide double angle lintels at openings to 4" wide, 3/8" x 3/8" x 7/8". Verify size and location of required openings for mechanical equipment with mechanical contractor. 	<p>MATCOM EARTHQUAKE DESIGN 100 Cummings Center, Suite 347C Beverly, MA 01915</p>
	<p>Building Addition To Comcast Brighton Genoa Township, Michigan</p> <p>Structural Plans</p>	
	<p>Michael McKelvey Architect 5900 Crestline Court Ann Arbor, Michigan 48106 Phone: (734) 418-2554 Fax: (734) 418-2181</p>	
	December 6, 2010	
	1/4" = 1'-0"	
	31137	
	S-1	



<p>○ Sheet Keynotes</p>	<p>ISSUED</p>
<p>1. Existing construction 2. Existing wall mount HVAC units. 3. New 8 and 6-ton wall mount HVAC units.</p>	<p>1-10-11 Date</p>
<p>Legend</p>	<p>REVISD</p>
<p>— Existing Equipment to Remain - - - Existing Equipment To Be Removed — New Equipment</p>	<p>MAICOM CONSTRUCTION CONSULTANTS 100 Cummings Center, Suite 347C Beverly, MA 01915</p>
<p>Building Addition To Comcast Brighton Genoa Township, Michigan HVAC Plan</p>	<p>Michael McKelvey Architect 5900 Cassinow Court Ann Arbor, Michigan 48106 Phone: (734) 418-2554 Fax: (734) 418-2151</p>
<p>December 6, 2010</p>	<p>1/4" = 1'-0"</p>
<p>31137</p>	<p>M-1</p>



Sheet Keynotes

1. Existing construction
2. Relocate existing Exterior Camera to this location.
3. Relocate Light Fixture from existing door.
4. Relocate existing Card Reader and Electric Strike to this location.
5. 2-lamp, 4' wrap around fluorescent fixture with shatter shield lamp.

ISSUED
1-10-11 Bds

REVISED

MAICOM
CONSULTING ENGINEERS
100 Cummings Center, Suite 347C
Beverly, MA 01915

Legend

- Existing Equipment to Remain
- Existing Equipment To Be Removed
- New Equipment
- Future Equipment
- 1' x 4' Fluorescent Wrap Around with Shatter Shield Lamp
- Exit Sign with Battery Backup and Emergency Light
- Single Pole Switch
- Duplex Receptacle

Building Addition To
Comcast Brighton
Genoa Township, Michigan
Electrical Plan

Michael McKeivey Architect
5900 Greenway Court
Ann Arbor, Michigan 48106
Phone: (734) 480-2554 Fax: (734) 480-2571

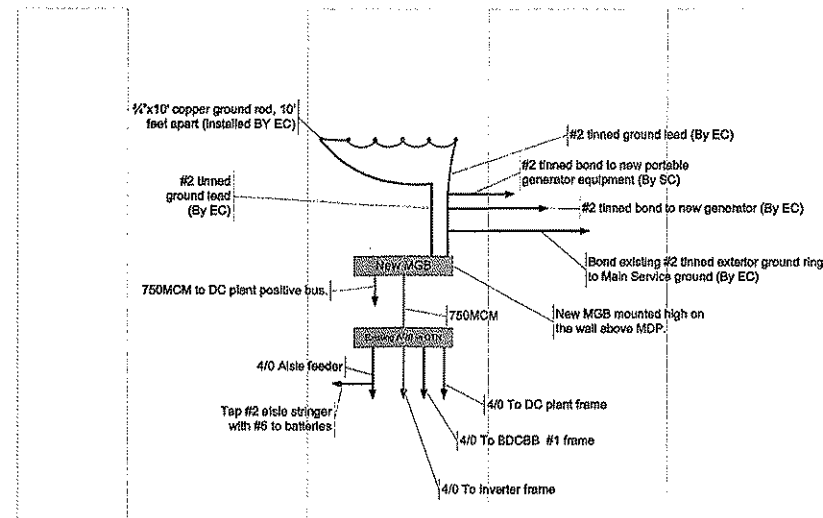
December 6, 2010

1/4" = 1'-0"

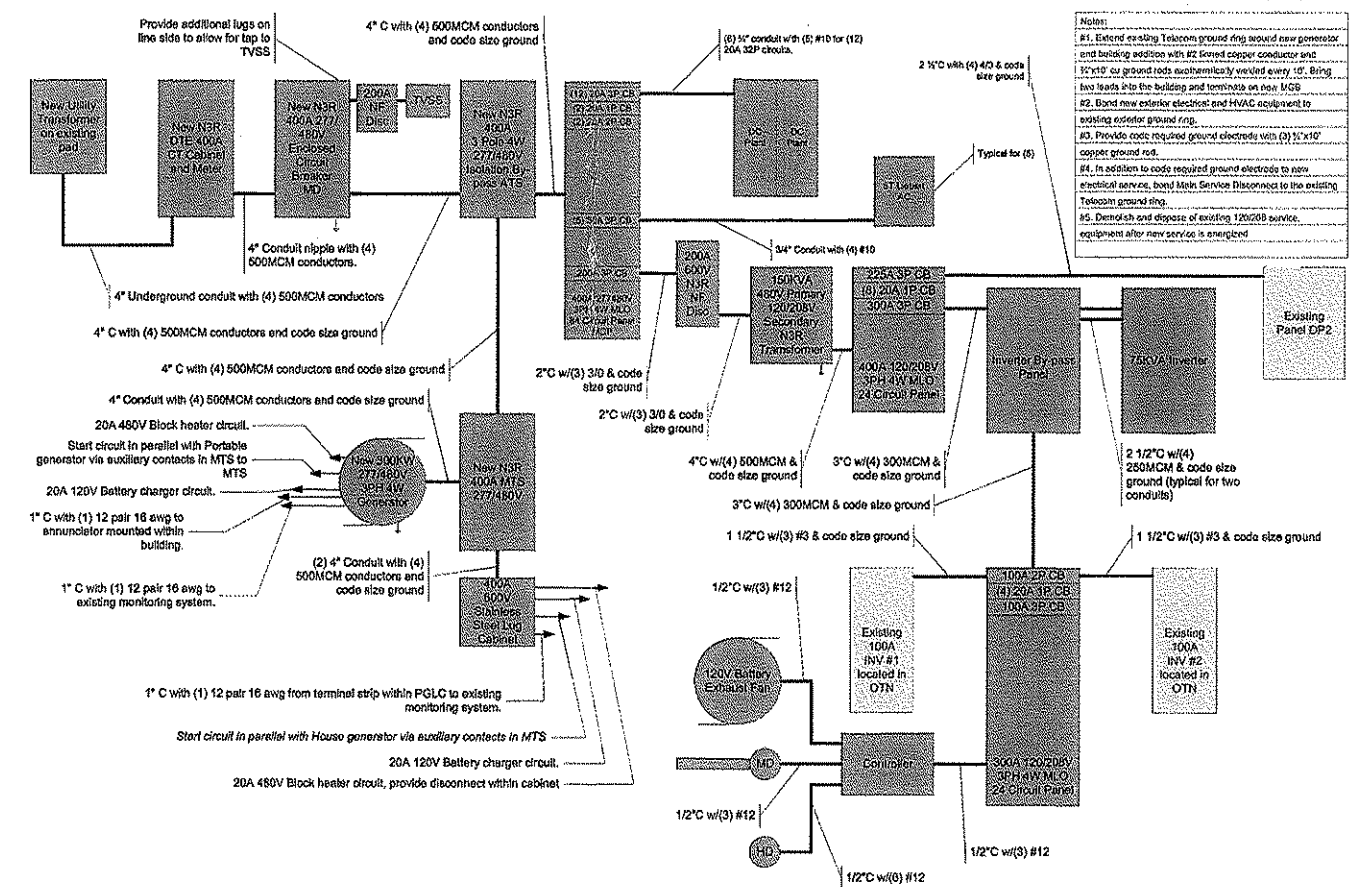
31137

E-1





Ground Riser Diagram



AC Riser Diagram

- Notes:
- #1. Extend existing Telecom ground ring around new generator and building addition with #2 tinned copper conductor and 1/2"x10' copper ground rods spaced every 10'. Bring two leads into the building and terminate on new MGB.
 - #2. Bond new exterior electrical and HVAC equipment to existing exterior ground ring.
 - #3. Provide code required ground electrode with (2) 1/2"x10' copper ground rod.
 - #4. In addition to code required ground electrode to new electrical service, bond Main Service Disconnect to the existing Telecom ground ring.
 - #5. Demolish and dispose of existing 120/208 service equipment after new service is energized.

ISSUED 1-10-11 Bldg
REVISED
100 Cummings Center, Suite 547C Beverly, MA 01915
Building Addition To Comcast Brighton Genoa Township, Michigan Riser Diagrams
5900 Coolidge Court Ann Arbor, Michigan 48106 Phone: (734) 485-2504 Fax: (734) 485-2511
December 6, 2010
No Scale
31137
E-2

Charter Township of Genoa
ZONING BOARD OF APPEALS
FEBRUARY 15th, 2011
CASE #11-04

PROPERTY LOCATION: 2062 Webster Park Drive

PETITIONER: Eli Gergies

ZONING: LRR (Lakeshore Resort Residential)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a waterfront and front yard variance to construct a 2nd story addition.

CODE REFERENCE: Table 3.04.01 – Dimensional Standards - LRR (Lakeshore Resort Residential)

STAFF COMMENTS: Petitioner is seeking a variance to construct a second story addition on an existing nonconforming structure. In addition, due to the neighbor being set so far back on the south, an additional waterfront variance is needed.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	35	10	5	40	25	178
Setbacks Requested	0	11	9	94	21	94
Variance Amount	35					84

GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 11-04 Meeting Date: 2-15-11 @ 6:30

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

p.m.

• **Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)**

Applicant/Owner: ELI GERGICS, LORI BILLIS-GERGICS

Property Address: 2062 WEBSTER PARK DR Phone: ELI call (313) 401-4327

Present Zoning: LRR Tax Code: 11-30-101-001

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: TO CONVERT ATTIC INTO BEDROOM OF EXISTING STRUCTURE WHICH EXIST APPROXIMATELY 12 FEET FROM THE UNPAVED ROAD

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) _____
- b. Other (explain) THE HOUSE (EXISTING STRUCTURE) SITS APPROXIMATELY 12 FEET FROM THE UNPAVED ROAD

Variance Application Requires the Following:

- **Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.**
- **Waterfront properties must indicate setback from water for adjacent homes**
- **A Land Use Permit Application to be submitted with ZBA Variance Application.**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 1/24/2011

Signature: A. Dupin [Signature]

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

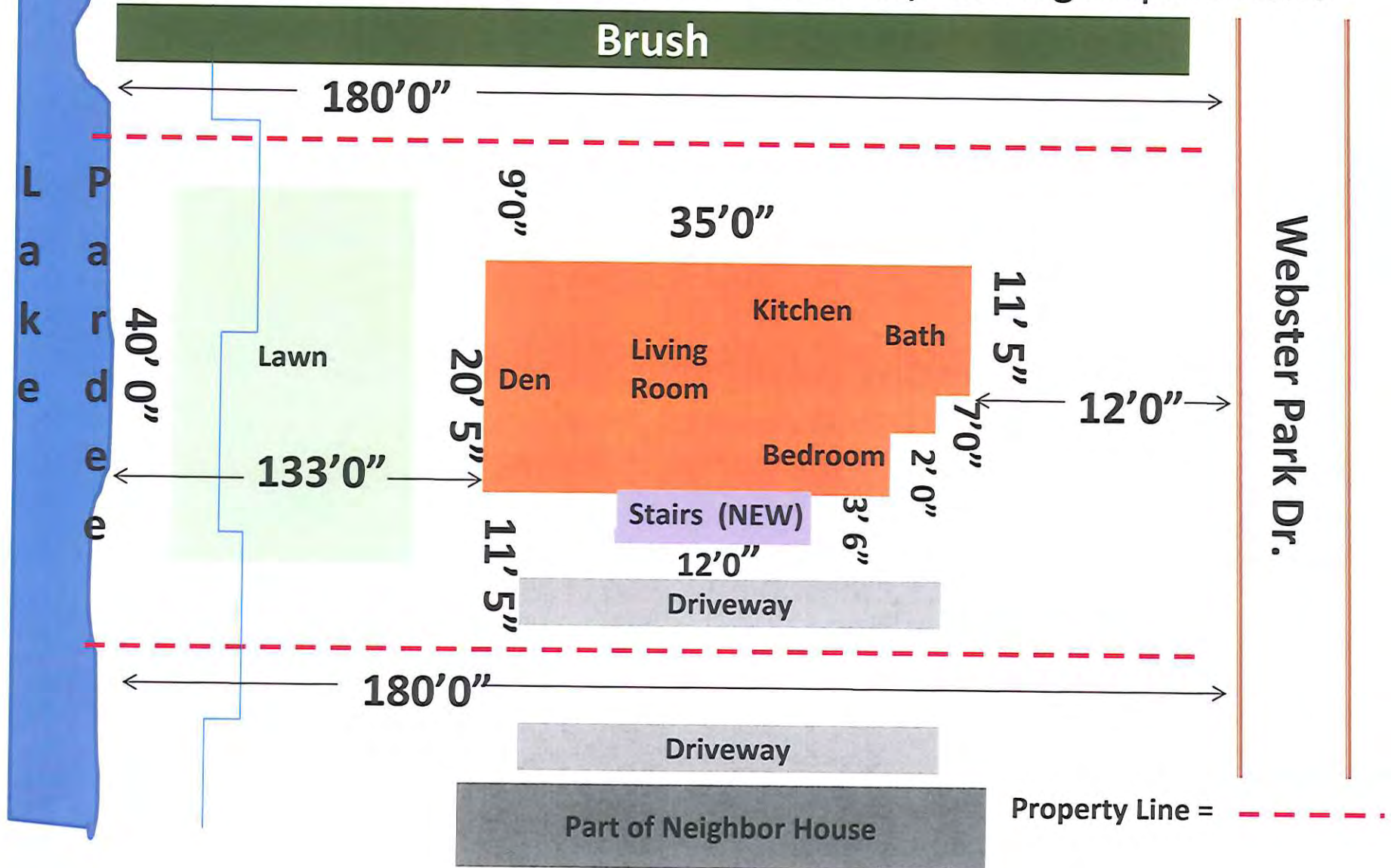
2062 Webster Park Drive Howell MI 48843 –
Plot Drawing for Genoa Charter Township Zoning Department

Scope Of Presentation – February 15th Meeting

- **To: Genoa Charter Township Zoning Department Members**
 - Mr. Michael Archinal, Township Manager
 - Ms. Kelly VanMarter, AICP – Planning Director
 - Mr. Adam VanTassell, Code Enforcement Officer
- **Goal:**
 - Earn approval for Land variance to convert attic of 1 bedroom house into additional bedroom for recent addition to family (baby).
 - Existing house structure is near rural road



2062 Webster Park Drive Howell MI 48843 –
Plot Drawing for Genoa Charter Township Zoning Department

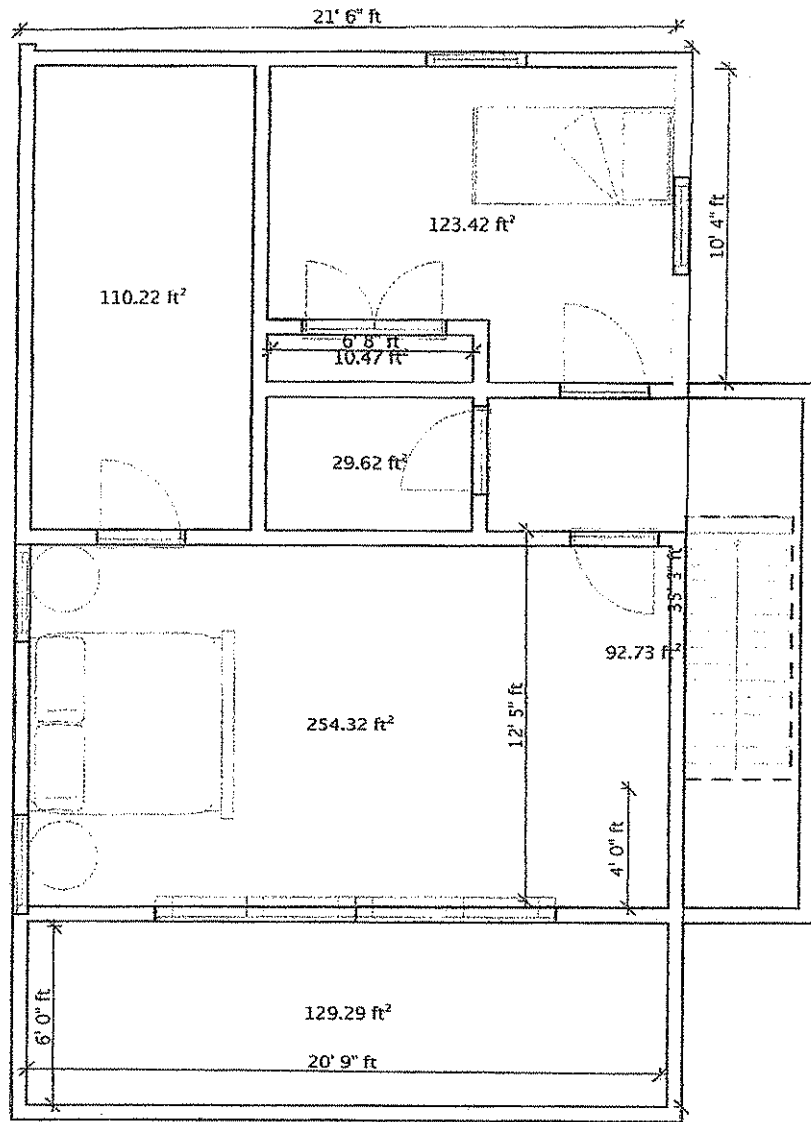


2062 Webster Park Drive Howell MI 48843 –
Plot Drawing for Genoa Charter Township Zoning Department

Scope Of Presentation – February 15th Meeting

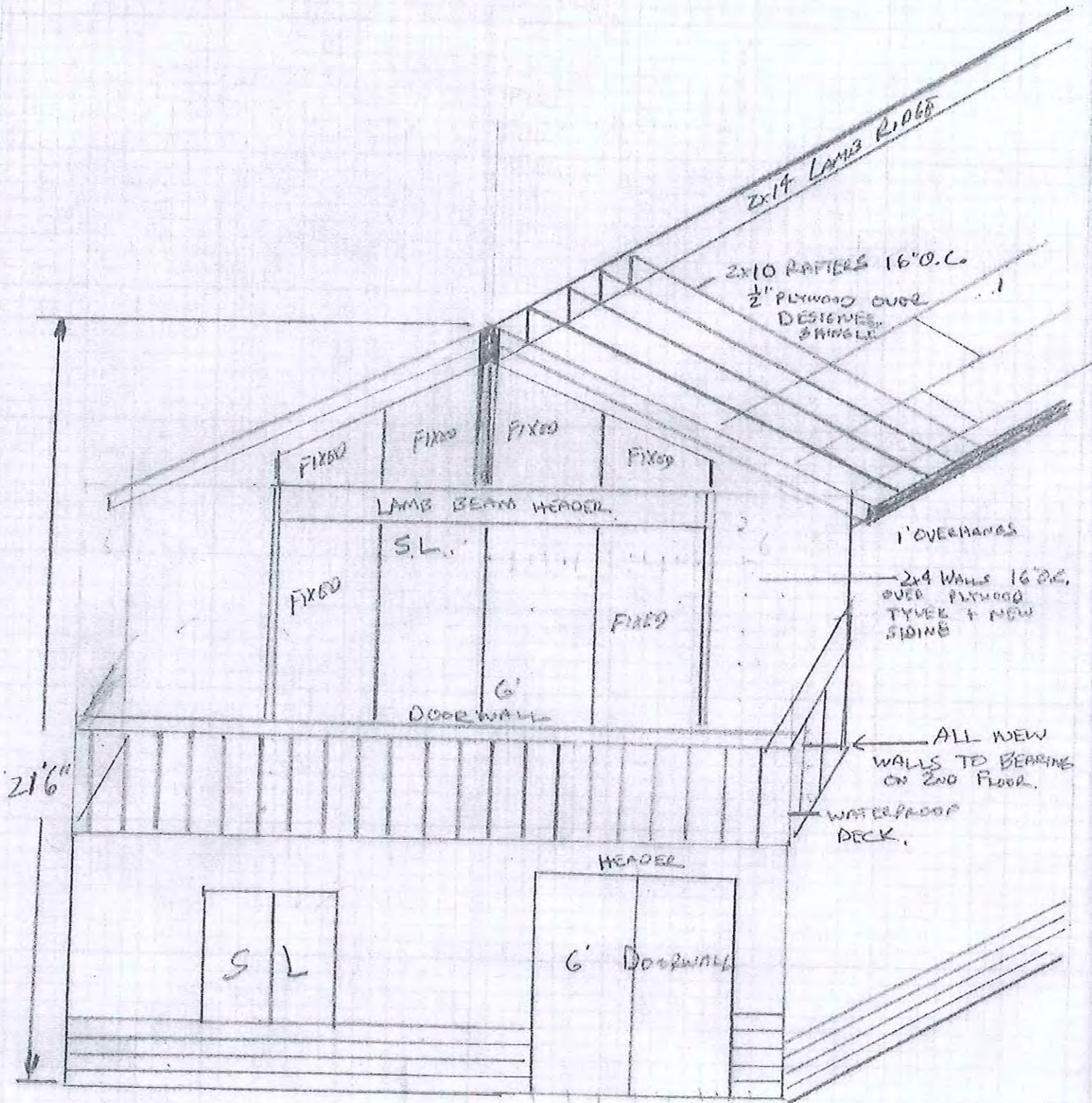
- ***Questions...***
 - Eli Gergics – (313)401-4327; eli.gergics@yahoo.com

Thank You!!

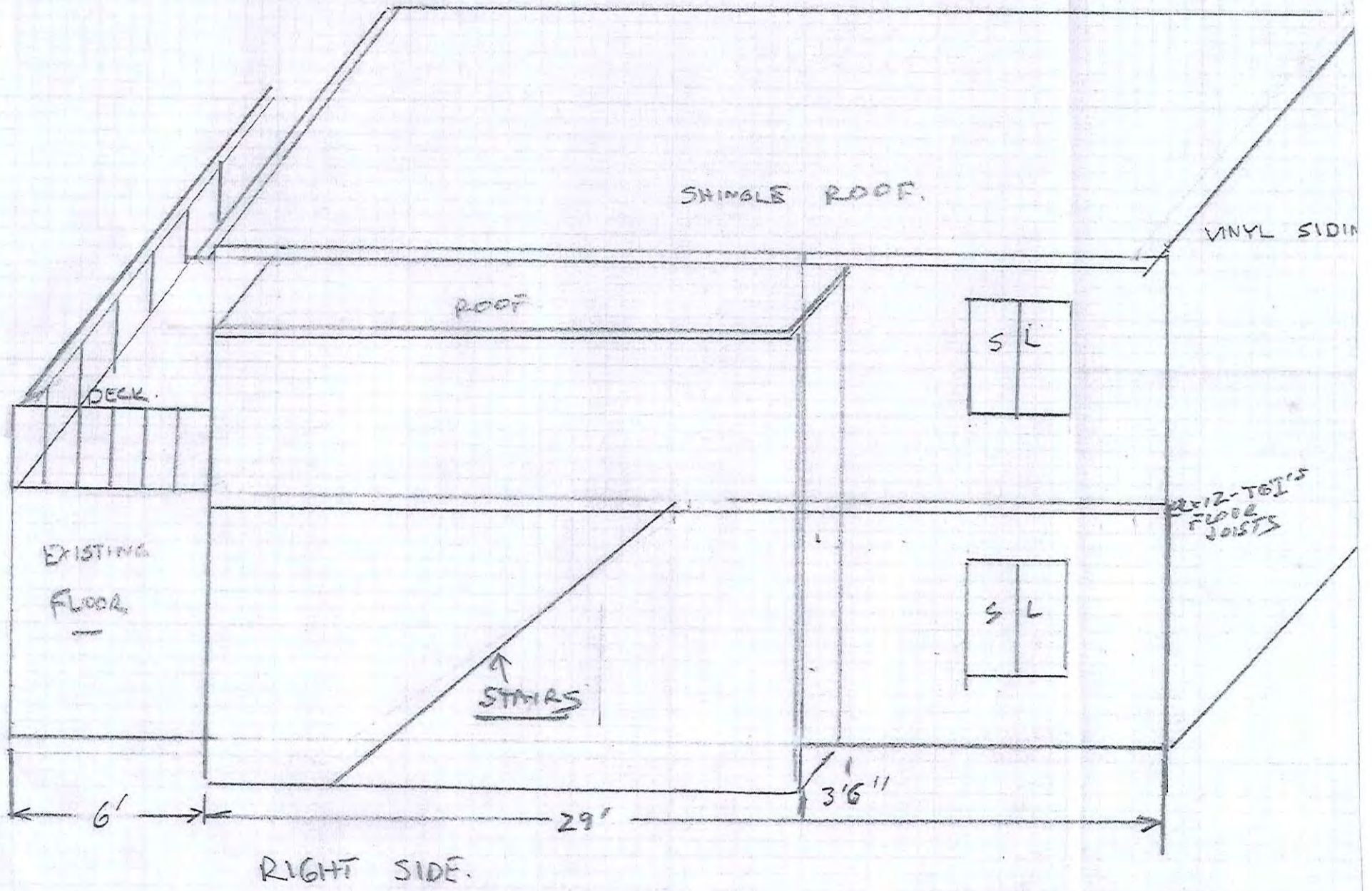


Proposed Floor Plan
2062 Webster Park D

REMOVING COMPLETE UPPER AREA.
 ALL FLOOR JOIST TO BEARINGS. WALLS T&G
 FLOOR JOISTS 16" O.C WITH 3/4 T+G
 ALL WORK TO CODE +



LAMB VIEW - FRONT



Charter Township of Genoa
ZONING BOARD OF APPEALS
FEBRUARY 15th, 2011
CASE #11-05

PROPERTY LOCATION: 3856 Beattie

PETITIONER: Ray Henrikson

ZONING: CE (Country Estates)

WELL AND SEPTIC INFO: Well and Septic

PETITIONERS REQUEST: Requesting a variance to allow a detached accessory structure in the front yard of a non-conforming lot.

CODE REFERENCE: Section 11.04.01 (c) (2)

STAFF COMMENTS: Petitioner is seeking to construct a detached garage in the front yard. While the petitioner's lot is in CE which allows structures in the front yard, the lot itself is nonconforming as it is 2.17 acres while CE lots are to be no less than 5 acres.

DETACHED ACCESSORY STRUCTURE	Principal building setback	One Side	Other Side	Front	Size	Height
Setbacks of Zoning	10	40	40	232	1120	14
Setbacks Requested	40	15	165			
Variance Amount						

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116
(810) 227-5225 FAX (810) 227-3420

Case # 11-05 Meeting Date: 2-15-11 @ 6:30

- PAID Variance Application Fee
\$125.00 for residential - \$300.00 for commercial/industrial
 Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: RAY HENRIKSON

Property Address: 3856 BEATTIE Phone: 517-545-2361

Present Zoning: COUNTRY ESTATES Tax Code: 4711-19-300-007

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: BUILD DETACHED GARAGE
IN FRONT OF OUR HOUSE AND CLOSER TO SIDE YARD

2. Intended property modifications: _____

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) LOCATION OF HOUSE ON PROPERTY
LOCATED IN BACK 1/4 OF PROPERTY NARROW PROPERTY

b. Other (explain) _____

Variance Application Requires the Following:

• **Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.**

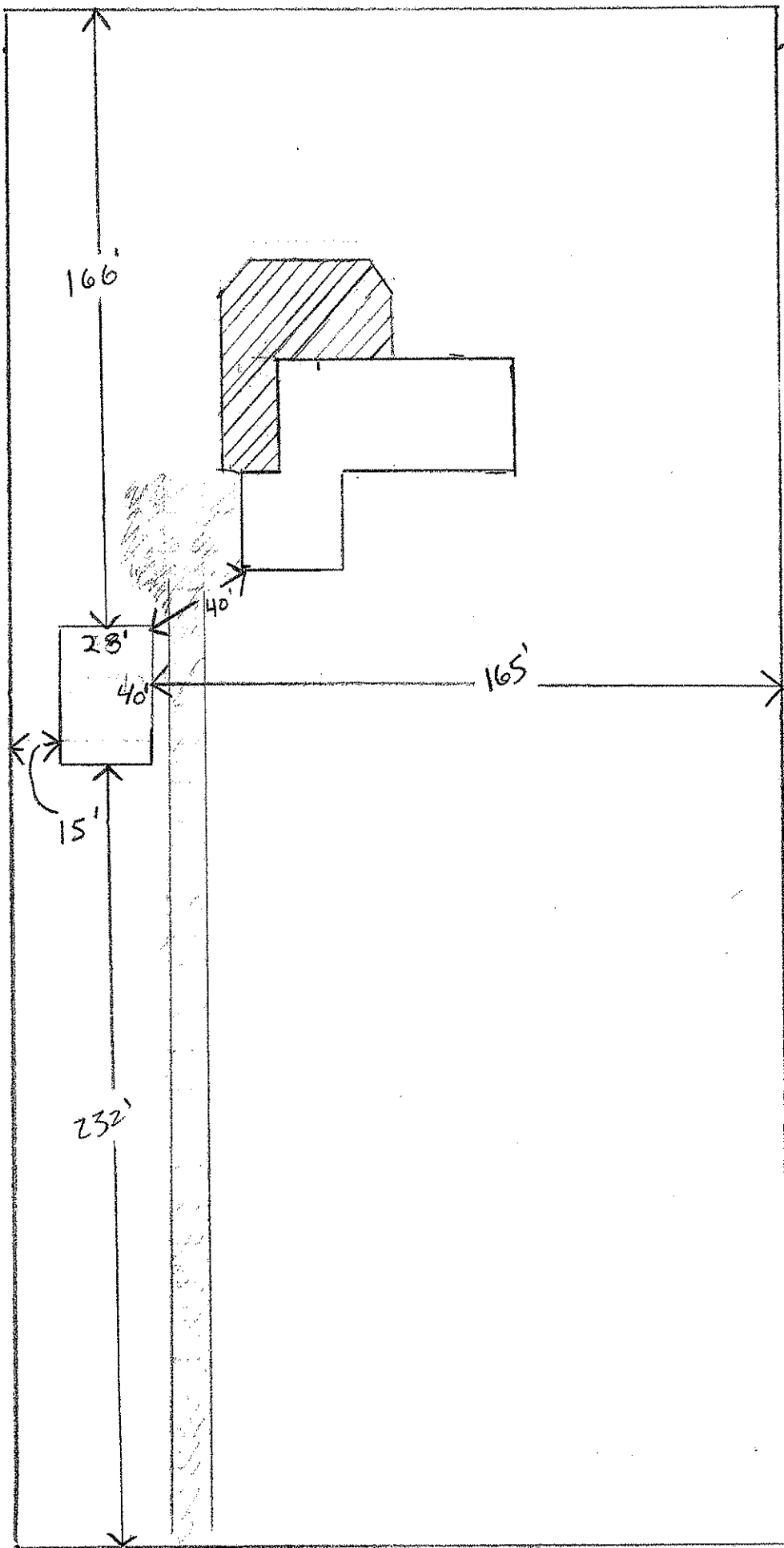
- **Waterfront properties must indicate setback from water for adjacent homes**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: _____

Signature: Ray Henrikson

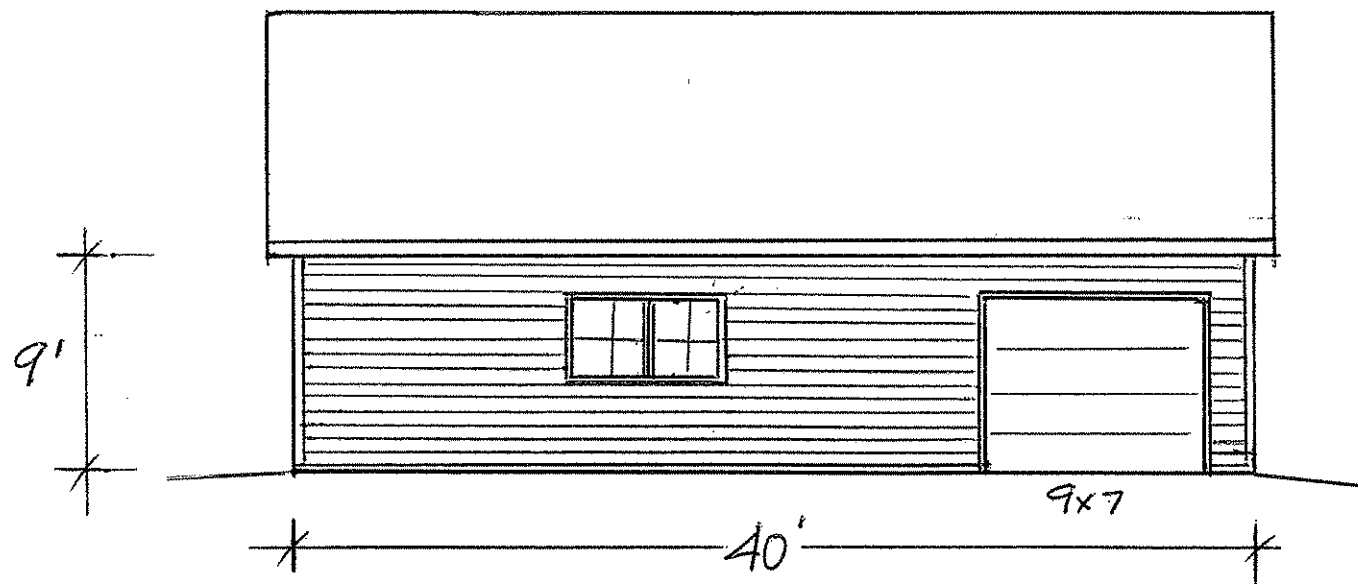
Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.



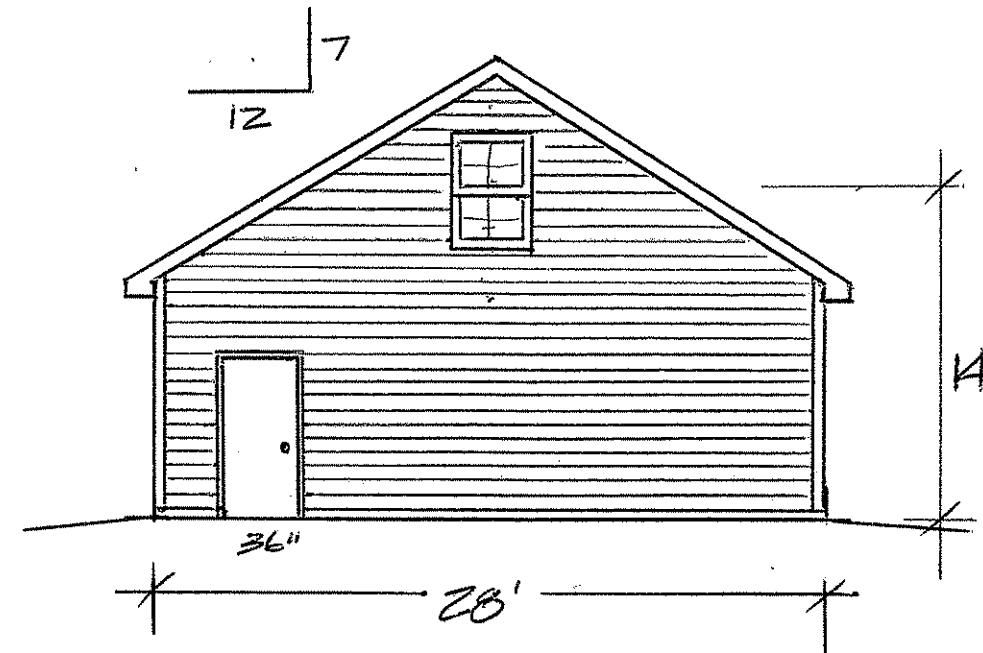
HENRIKSON RESIDENCE
3856 BEATTIE RD.
HOWELL, MI

NORTH FACE



TEXTURED SHINGLES
HORIZONTAL SIDING

WEST SIDE



1/8" = 1'

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
JANUARY 19th, 2011
6:30 P.M.**

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Chris Grajek, Barbara Figurski and Jeff Dhaenens and Steve Wildman. Also present was Township staff member Adam VanTassell and 2 persons in the audience.

Moved by Figurski, supported by McCreary, to approve the agenda as submitted. **Motion carried unanimously.**

11-01...A request by BMH Realty, Section 09, 4525 E. Grand River for a side and size variance to construct an additional kerosene tank.

Mark Jeffries, BMH Realty, 775 N. Second Street, Brighton was present for the petitioner. Mr. Jeffries related that the size of the tank has changed from 2,000 gallons to 500 gallons.

A call to the public was made with no response.

Moved by Wildman, supported by Grajek , to approve the variance with a 20 foot side yard setback for a variance of 55 feet and a size variance of 500 gallon tank for a variance of 200 gallons. The approval is conditioned upon approval of Township Planner of a horseshoe-like vegetation screening around the tank (open at the front for access and visibility from the store). Practical difficulty is the relation of the tank to the building for security and the advance in tank technology allowing for safer tanks that can be closer to lot lines. **Motion carried unanimously.**

11-02...A request by Liberty Tax, Section 09, 4072 E. Grand River for a front yard variance to construct an addition.

Steve Schenk, 4072 E. Grand River, was present for the petitioner.

A call to the public was made with no response.

Moved by Grajek, supported by Wildman, to approve the petitioner's request for a (1) year period with 2 banners, 2 windfeathers and balloons for an additional 3 weeks from the allowed 2 weeks per the ordinance. The finding of fact is the temporary type of seasonal business and the hardship of the

1-19-11 Unapproved ZBA Minutes

location off the road. **Motion carried as follows: yeas: Dhaenens, Wildman, Grajek. Nays: Figurski, McCreary.**

Moved by Figurski, supported by, Wildman to approve the December 14th, 2010 Zoning Board of Appeals meeting minutes with corrections. **Motion carried unanimously.**

Motion to adjourn: Figurski, Wildman. 7:01 pm

Respectfully Submitted:

Adam VanTassell