



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: _____
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: _____

SITE ADDRESS: _____ PARCEL #(s): _____

APPLICANT PHONE: (____) _____ OWNER PHONE: (____) _____

OWNER EMAIL: _____

LOCATION AND BRIEF DESCRIPTION OF SITE: _____

BRIEF STATEMENT OF PROPOSED USE: _____

THE FOLLOWING BUILDINGS ARE PROPOSED: _____

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: _____

ADDRESS: _____

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) _____ of _____ at _____
Name Business Affiliation E-mail Address

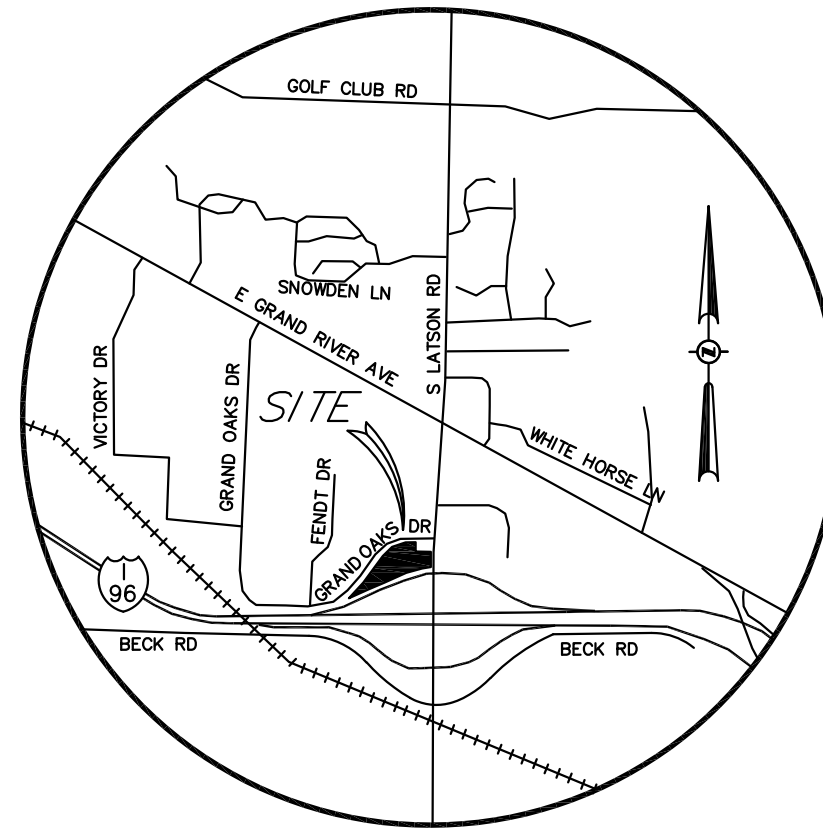
FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: _____ DATE: _____

PRINT NAME: _____ PHONE: _____

ADDRESS: _____



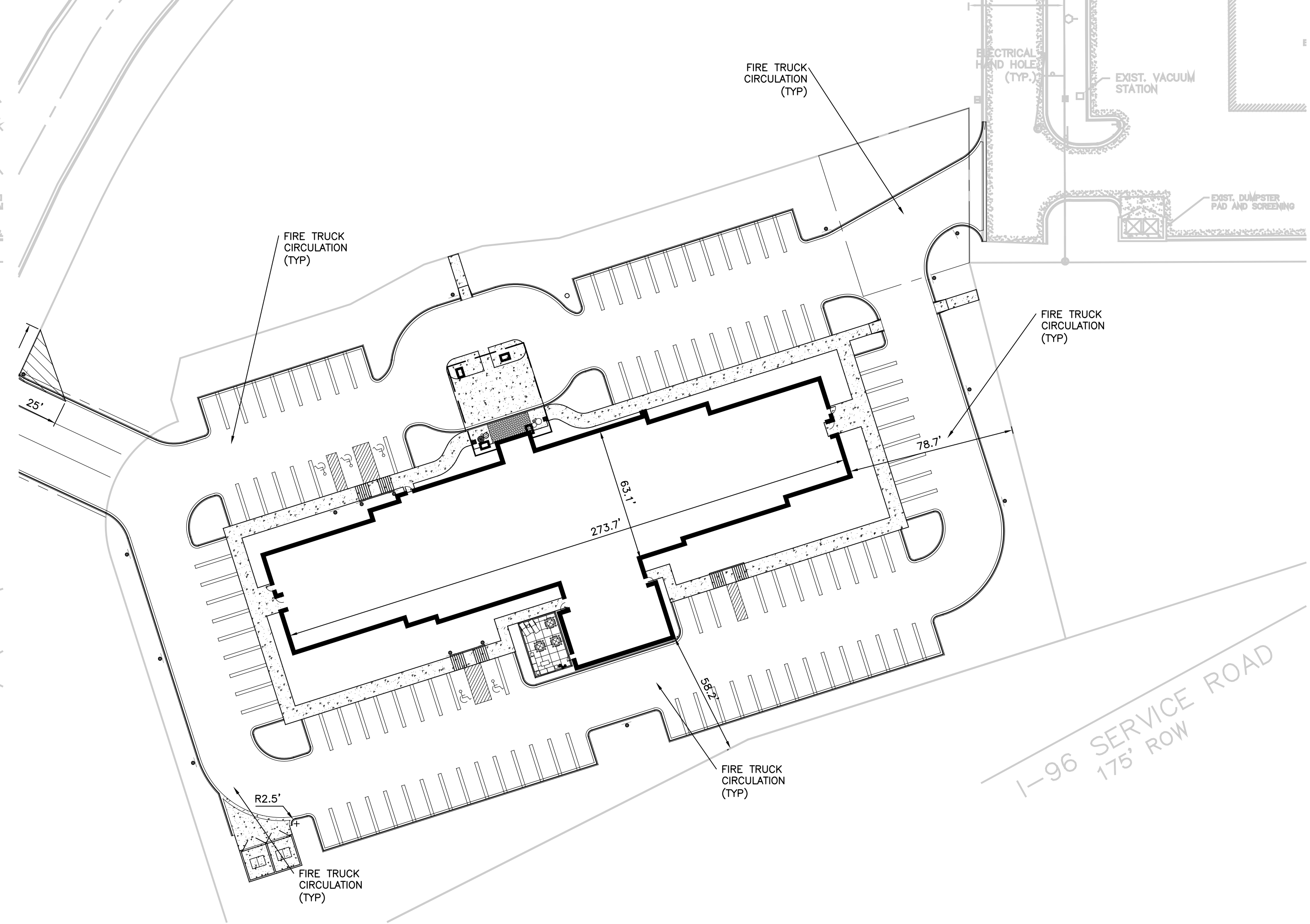
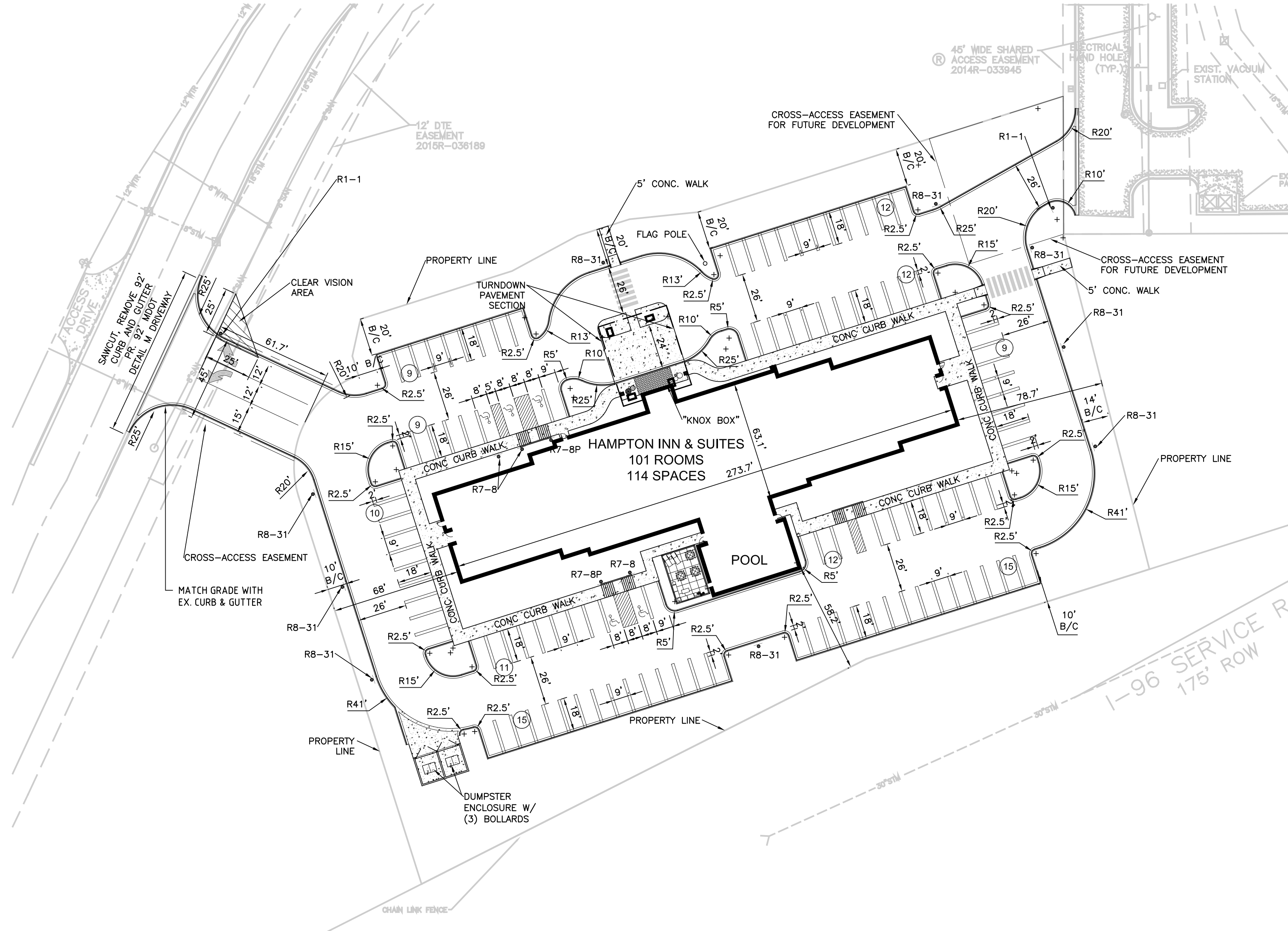
LOCATION MAP
NOT TO SCALE

GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
- DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
- ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- PARKING STALL SPACES TO BE 4" DOUBLE SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" DOUBLE SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2" O.C. ON 45° ANGLE.
- ALL WORK SHALL CONFORM TO THE GENOA TOWNSHIP STANDARDS AND SPECIFICATIONS.

SITE INFORMATION

ZONING: NRPUD
 PROPERTY: 47-11-08-200-020
 2.560-ACRES
 BUILDING INFORMATION:
 GROSS FOOTPRINT AREA = 17,934 S.F.
 LOT AREA = 2.56-ACRES = 111,513.60 S.F.
 BUILDING LOT COVERAGE = 17,934 / 111,513.60 = 16.1%
 IMPERVIOUS INFORMATION:
 IMPERVIOUS SURFACE (BUILDING & PAVEMENT) = 73,266 S.F.
 LOT AREA = 111,513.60 S.F.
 IMPERVIOUS COVERAGE = 65.7%
 PARKING DATA:
 REQUIRED
 1 SPACE PER GUEST ROOM
 REQUIRED = 101 ROOMS / 1 = 101 SPACES
 TOTAL REQUIRED = 101 SPACES
 PROVIDED
 ACCESSIBLE SPACES (8'x18') = 5
 STANDARD SPACES (9'x18') = 109
 TOTAL = 114 SPACES



FIRE TRUCK CIRCULATION

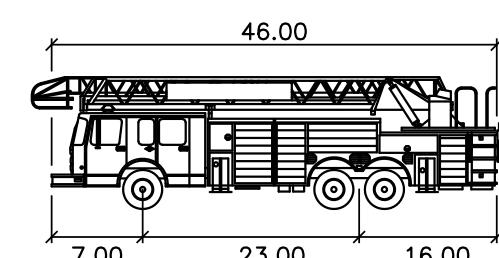
SCALE: 1" = 40'

MDOT B2 CURB & GUTTER DETAIL

SCALE: NOT TO SCALE

BRIGHTON AREA FIRE AUTHORITY NOTES

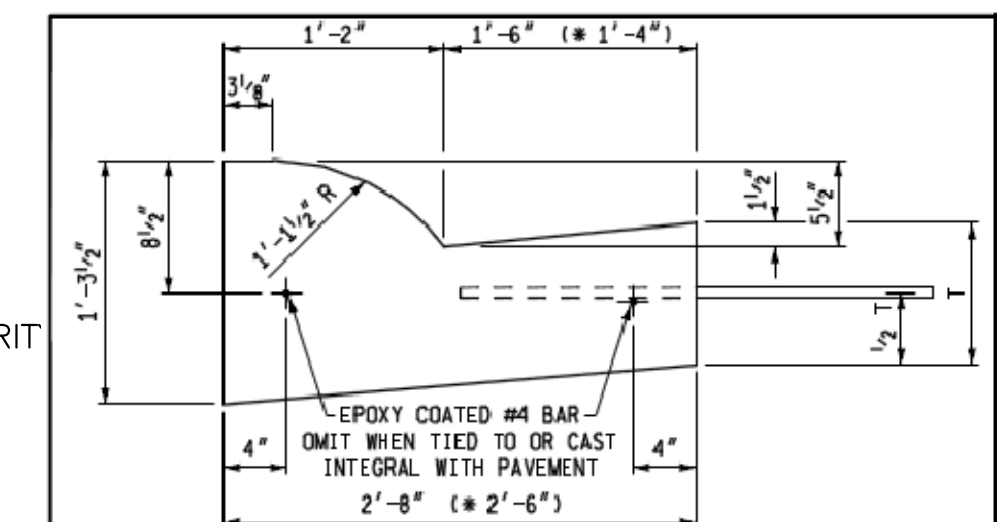
- THE BUILDING IS PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM COMPLIANT WITH NFPA 13.
- THE BUILDING SHALL INCLUDE THE BUILDING ADDRESS ON THE BUILDING. THE ADDRESS SHALL BE A MINIMUM OF 6-INCH HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
- DURING THE CONSTRUCTION PROCESS THE BUILDING WILL BE EVALUATED FOR APPROVED EMERGENCY RESPONDER RADIO COVERAGE. IF COVERAGE IS FOUND TO BE INADEQUATE, THE CONTRACTOR, BUILDING OWNER WILL BE REQUIRED TO PROVIDE AN APPROVED SYSTEM IN THE BUILDING.
- ACCESS ROADS TO THE SITE SHALL BE PROVIDED AND MAINTAINED DURING CONSTRUCTION. ACCESS ROADS SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 84,000 POUNDS.



BRIGHTON AREA FIRE AUTHORITY

Width : 8.25
Max Wheel Angle : 45°

FIRE TRUCK

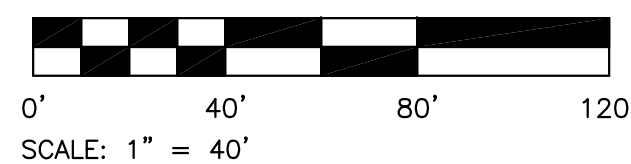


(* GUTTER PAN WIDTH MAY BE REDUCED WHEN APPROVED BY THE ENGINEER)

DETAIL	DIMENSION	LANE TIES	CONCRETE CYD / LFT	CONCRETE CYD / LFT
B1	9"	AS SHOWN	0.0900	(* 0.0855)
B2	9"	OMITTED	0.0900	(* 0.0855)
B3	10"	AS SHOWN	0.0941	(* 0.0894)

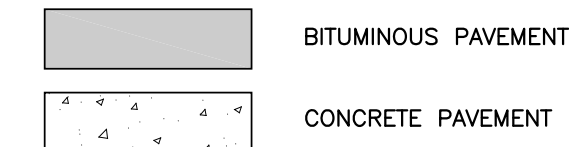


Know what's below.
Call before you dig.



SCALE: 1" = 40'

PAVEMENT INFORMATION



TRAFFIC CONTROL SIGN TABLE	
DESCRIPTION	MMUTCD
STOP SIGN	R1-1
HANDICAP	R7-8
HANDICAP (VAN)	R7-8P
NO PARKING FIRE LANE	R8-31

ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS



R8-31 SIGN DETAIL
NO SCALE

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

DESIGNHAUS PLLC.
designhaus.com

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM, INFO@DESIGNHAUS.COM

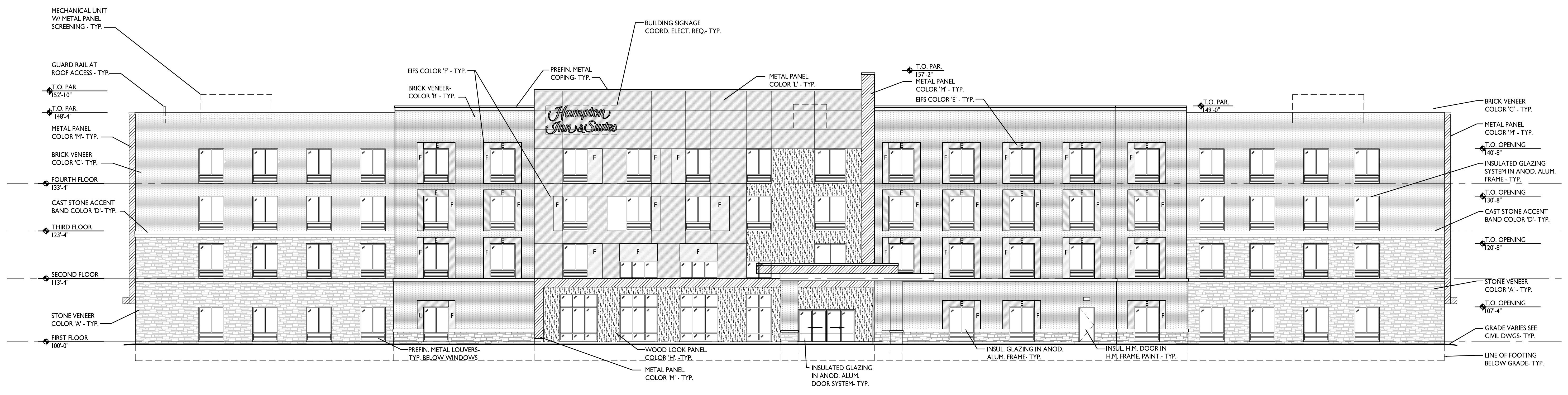
HOWELL HOSPITALITY INC.
GRAND OAKS DRIVE
GENOA TOWNSHIP, LIVINGSTON CO, MI

ISSUED FOR	DATE
SPA	02.01.17
SPA	02.22.17
SPA	05.01.17
SPA	05.23.17
SPA	06.23.17
ENGINEERING #1	06.28.17
ENGINEERING #2	10.09.17

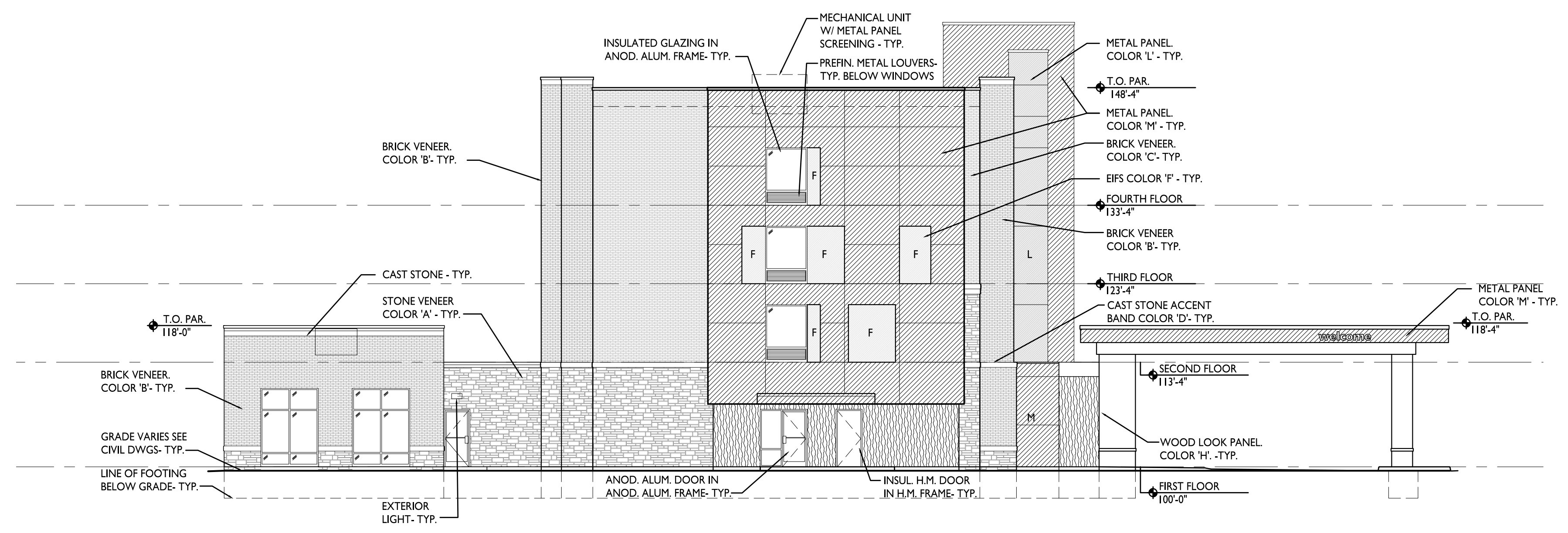
DATE :
DRAWN :
CHECKED :
SCALE :
JOB NO : 018041
SHEET TITLE :

C3.0

GENERAL NOTES
 1. ALL ROOF TOP EQUIPMENT, VENTS, FLUES TO BE CONCEALED / SCREENED FROM VIEW



EAST ELEVATION
 SCALE: 3/8" = 1'-0"



NORTH ELEVATION
 SCALE: 3/8" = 1'-0"

STONE	6058 S.F.	16.8%
BRICK	13828 S.F.	38.4%
EIFS	1685 S.F.	4.7%
WOOD LOOK	1296 S.F.	3.6%
FENESTRATION	6881 S.F.	19.1%
METAL PANEL	6259 S.F.	17.4%
TOTAL	36006 S.F.	

TAG	MATERIAL	MANUFACTURER	COLOR
A	STONE VENEER	GLEN GERY	SOUTHERN MALT CUT COBBLE
B	BRICK	GLEN GERY	DARK GREY
C	BRICK	GLEN GERY	TOLEDO GREY
D	CAST STONE	ROCK CAST	CHARLOTTE TAN
E	EIFS	DRYVIT	TBD
F	EIFS	DRYVIT	TBD
G	WINDOW FRAME		CLEAR ANOD. ALUM.
H	FIBER CEMENT PANEL	NICHIHA	VINTAGEWOOD REDWOOD
J	COPING	ATAS/PAC-CLAD	TBD
K	COPING	ATAS/PAC-CLAD	RAWHIDE
L	METAL PANEL	ATAS	ASCOT WHITE
M	METAL PANEL	ATAS	DARK BRONZE
N	STRUCTURAL STEEL PAINT	SHERWIN WILLIAMS	TBD

GENERAL NOTES
 I. ALL ROOF TOP EQUIPMENT, VENTS, FLUES TO BE CONCEALED / SCREENED FROM VIEW

BOWERS ASSOCIATES
 ARCHITECTURE DESIGN
 2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
 P: 734.975.2400 • F: 734.975.2410
 WWW.BOWERSARCH.COM

CONSULTANT + NAME



PROJECT + INFORMATION
 3990 GRAND OAKS DRIVE
 GENOA TOWNSHIP, MICHIGAN

PROJECT + NUMBER

17-204

ISSUE + DATE

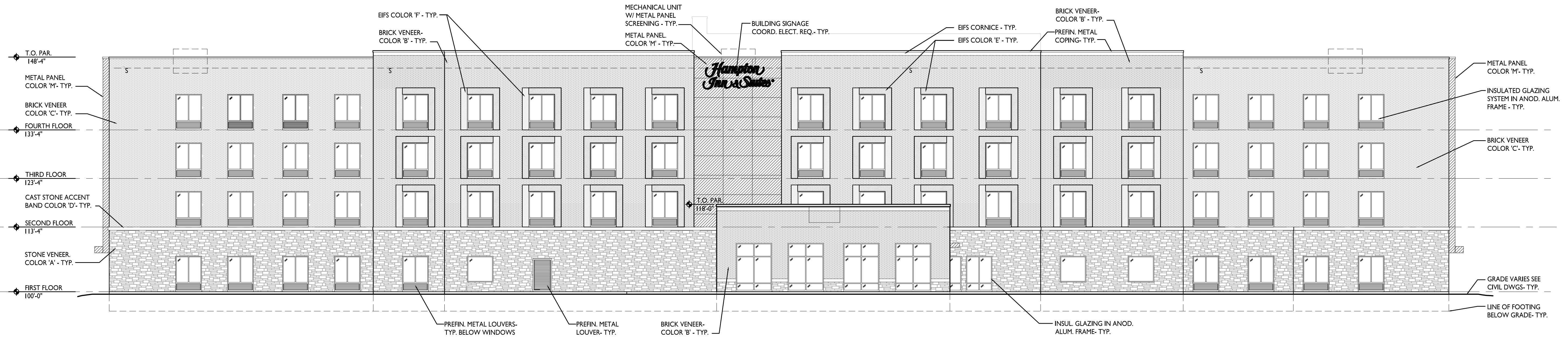
31 JAN 2017 SITE PLAN
 22 FEB 2017 SITE PLAN
 12 APR 2017 SITE PLAN
 19 JUNE 2017 BID PERMIT
 14 FEB 2018 REVIEW
 8 MAR 2018 BID/ PERMIT

SHEET + TITLE
 EXTERIOR ELEVATIONS

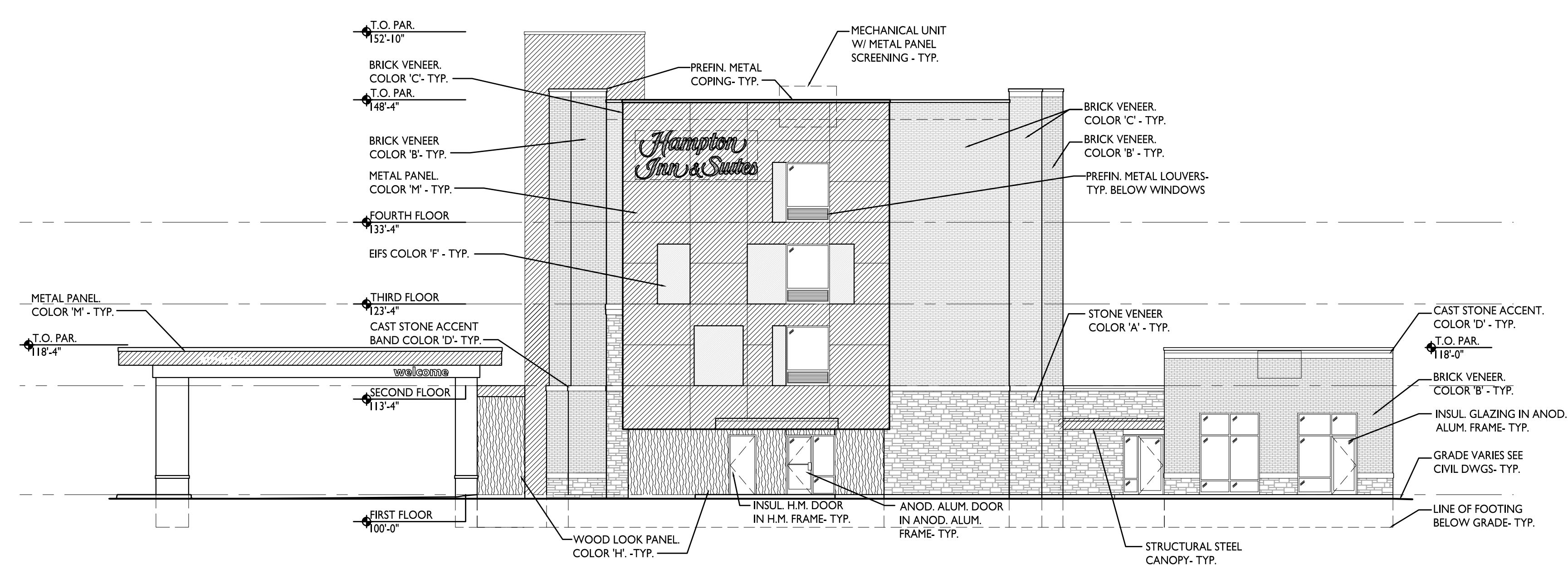
17204A500A.dwg

SHEET + NUMBER

A5.01



WEST ELEVATION
 SCALE: 1/2" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/2" = 1'-0"

STONE	6058 S.F.	16.8%
BRICK	13828 S.F.	38.4%
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D	CAST STONE	ROCK CAST	CHARLOTTE TAN
E	EIFS	DRYVIT	TBD
F	EIFS	DRYVIT	TBD
G	WINDOW FRAME		CLEAR ANOD. ALUM.
H	FIBER CEMENT PANEL	NICHIHA	VINTAGEWOOD REDWOOD
J	COPING	ATAS/PAC-CLAD	TBD
K	COPING	ATAS/PAC-CLAD	RAWHIDE
L	METAL PANEL	ATAS	ASCOT WHITE
M	METAL PANEL	ATAS	DARK BRONZE
N	STRUCTURAL STEEL PAINT	SHERWIN WILLIAMS	TBD

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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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CONSULTANT + NAME



PROJECT + INFORMATION
3990 GRAND OAKS DRIVE
GENOA TOWNSHIP, MICHIGAN

PROJECT + NUMBER

17-204

ISSUE + DATE

31 JAN 2017 SITE PLAN
22 FEB 2017 SITE PLAN
12 APR 2017 SITE PLAN
3 MAY 2017 SITE PLAN
19 JUNE 2017 PERMIT
8 MAR 2018 BID PERMIT

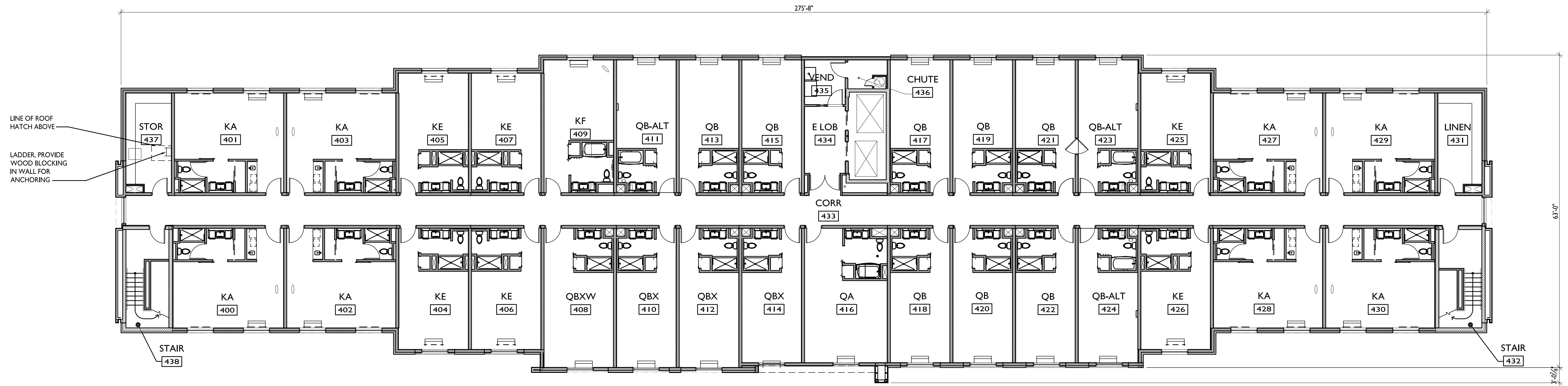
SHEET + TITLE

FIRST FLOOR
PLAN

17204MAST.dwg

SHEET + NUMBER

A1.00



TYPICAL UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

BOWERS ASSOCIATES
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 2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
 P: 734.975.2400 • F: 734.975.2410
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CONSULTANT + NAME

Hampton Inn & Suites
 PROJECT + INFORMATION
 3990 GRAND OAKS DRIVE
 GENOA TOWNSHIP, MICHIGAN

PROJECT + NUMBER
 17-204

ISSUE + DATE
 12 JAN 2017 SITE PLAN
 22 FEB 2017 SITE PLAN
 12 APR 2017 SITE PLAN
 3 MAY 2017 SITE PLAN
 19 JUNE 2017 BID/PERMIT
 8 MAR 2018 BID PERMIT

SHEET + TITLE
 TYPICAL UPPER FLOOR PLAN
 17204MASTa.dwg

SHEET + NUMBER
 A1.03

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EXTERIOR RENDERING

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