

February 21, 2018

Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116
ATTN: Kelly VanMarter

RE: Family Farm & Home-Special Land Use and Site Plan re-submittal

Dear Kelly,

Please see the below notes and plan of action shown in red.

**Family Farm & Home
Planning Commission Meeting 2/12/18
Planning Commission Discussion Notes:**

- 1) Staging Area
 - a. Screening
 - b. Fence – PC wants to change material, they want masonry piers
 - c. Plans to be consistent
 - i. Landscape
 - ii. Grassy areas

We added thin brick masonry piers to both sidewalk display and outside storage area,

- 2) Cross Access Road
 - a. Blanket easement?
 - b. PC is expecting Meijer to bear cost of the construction
 - c. Will not be a requirement of this approval.

No action or submittal required by FF&H

- 3) Dumpster Enclosure
 - a. Does not meet their ordinance.
 - b. Change to masonry or wood per ordinance

Enclosure changed to wood with concrete pad per ordinance

- 4) Grading/Storm water management
 - a. Show
 - b. Details on paving
 - c. Curbing to shield fence from plows?
 - d. Open to other alternatives on storm water mgmt.

Revised plans show paving details, slopes, as requested.

Storm water management: Civil plans show the paving/landscaped swapped areas removed. We will survey the existing detention pond in the spring; and will perform the required alterations the capacity of the pond as needed to achieve the additional volume created by the impervious surface of the outside storage. We will submit as-built plans detailing the alternations.

- 5) Martin Renel:
 - a. Site impact assessment – Discussion on traffic impact ultimately determined no traffic impact. Same as previous use.
- 6) Eric Unatin:
 - a. Gave information on retail state
 - b. Deal needs to make economic sense
- 7) Sidewalk Screening
 - a. Types of products to be stored at sidewalk
 - b. Make sure material is covered with screening

FF&H verified all materials will be covered and behind screening

- 8) 6' high on sidewalk screening per ordinance
 - a. Can we grant under "special use" to 4' ?

Planning Commission to review and get back to us on this.

Conclusion: Table for revisions

List of revisions:

Revise details for fence/screening

Revise showing staging area fenced.

Revise Storm water management

Include revisions from FF&H screening (outside display, sidewalk & fence extensions)

Dates:

02/21/18 – Resubmit

03/12/18 – Present at Planning Commission Meeting

Should you require any additional information please do not hesitate to contact me.

Sincerely,

ASHMARK CONSTRUCTION, LLC

Martin J. Renel
Managing Member

Family Farm & Home Interior Renovation

3685 East Grand River Ave
Howell MI 48843

Tenant:
Family Farm and Home
c/o ASHMARK Construction LLC

5640 West Maple, Suite 101
West Bloomfield, MI 48332
P: (248) 855-1575- Martin Renel

Contractor :
ASHMARK Construction LLC

5640 West Maple, Suite 101
West Bloomfield, MI 48332
P: (248) 855-1575- Martin Renel

Architect:
Metro Group Architects

P.O. Box 7363
Ann Arbor, MI 48107
P: (734) 747-8999 - Robert Kerr



Location Map

No Scale
Detail 1. D. 3

At	Junction box	JB	Junction box
ABV	Joist	JST	Joist
AC	Joint	JT	Joint
ACOUS	Long or Length	L	Long or Length
ADA	Laminate	LAM	Laminate
ADJ	Lavatory	LAV	Lavatory
AFF	Low Point	LP	Low Point
AISC	Material	MAT'L	Material
APPROX	Maximum	MAX	Maximum
ARCH	Mechanical	MECH	Mechanical
ASTM	Minimum or minute	MIN	Minimum or minute
BD	Mounted	MTD	Mounted
BLK	Masonry Opening	M.O.	Masonry Opening
BM	Beam		
BOCA	North	N	North
	Not applicable	N/A	Not applicable
BOT	National Electrical Code	NEC	National Electrical Code
	Necessary	NECES	Necessary
CABT	Not in contract	NIC	Not in contract
CFM	Not to scale	NTS	Not to scale
CF	On center	OC	On center
CIP	Overhead	OH	Overhead
CJ	Opening	OPG	Opening
CL	Centerline		
CLG	Ceiling		
CNTR	Counter	OPP	Opposite Hand
CO	Clean out	OS	Overflow Scupper
CPT	Carpet		
COL	Column	PART	Partition
CONC	Concrete	PART BD	Partic board
CONT	Continuous	P. LAM	Plastic Laminate
CRS	Carpet Reducer Strip	PLBG	Plumbing
C.T.	Ceramic Tile	PR	Pair
CW	Cold water or Cool white	PSF	Pounds per square foot
		PSI	Pounds per square inch
D	Deep	PTD	Pointed
DET	Detail	PVC	Polyvinylchloride pipe
DEMO	Demolition		
DR	Door	Q.T.	Quarry Tile
DS	Down Spout		
DSS	Down Spout w/ Scupper	R	Riser
DRWG	Drawing	RA	Return air
		REF	Reference
EA	Each	REJ	Roof Expansion Joint
EF	Exhaust Fan	REINF	Reinforced
EJ	Expansion Joint	REQ'D	Required
EIFS	Exterior Wall Insulation and Finish System	RET	Return
ELEV	Elevation	REV	Revised
ELEC	Electrical	RM	Room
EMER	Emergency	RO	Rough opening
EQ	Equal	RS	Roof Sump
EQUIP	Equipment	RTU	Roof-top unit
EXIST or EX	Existing		
EXP	Exposed	S	South
EXT	Exterior	SA	Supply air
FD	Floor Drain	SECT	Section
FFE	Finish Floor Elevation	SF	Supply fan or Square foot
FIN	Finish	SHT	Sheet
FL	Floor	SIM	Similar
FR	Frame	SPEC	Specifications
FRMG	Framing	STD	Standard
FRP	Fiberglass Reinforced Panel	STRUCT	Structural
FT	Foot; Feet		
FTG	Footing	T&B	Top and Bottom
FV	Field Verify	T&G	Tongue & Groove
		TEMP	Tempered (Glass)
G	Gas or Gutter	TH	Thick
GC	General Contractor	TOS	Top of Steel
GA	Gauge	TS	Tube steel
GFI	Ground fault interrupter	TWS	Through-wall Scupper
GR	Grade	TYP	Typical
GYP	Gypsum		
GYP BD	Gypsum board	UL	Underwriters Laboratories
		UNFIN	Unfinished
H	Hot or High	UON	Unless otherwise noted
HD	Fire Alarm Heat Detector		
HC	Hollow core	V	Vent or Volt
HDWE	Hardware	VCT	Vinyl composition tile
HGT	Height	VERT	Vertical
HM	Hollow metal	VIF	Verify In Field
HORIZ	Horizontal	VTR	Vent Through Roof
HP	High Point or Horsepower		
HT	Height	w/	With
HVAC	Heating, Ventilation & Air Conditioning	WD	Wood
HW	Hot water	w/o	Without
		WH	Water Heater
IN	Inch		
INCL	Include	NOTE:	See Mechanical & Electrical Drawings for additional abbreviation listings.
INS	Insulation		
INT	Interior		
IPS	Inch per second		

DTL	DOOR NUMBER (ROOM #) - (DOOR)	(A)	COLUMN GRID (EXISTING)
DOOR	BUBBLE	(A)	COLUMN GRID (NEW)
DTL	FLOOR FINISH DENOTATION		
FLOOR	FLOOR FINISH BUBBLE		
DTL	WALL BASE DENOTATION		
WALL BASE	FINISH BUBBLE		
DTL	WALL FINISH DENOTATION		
WALL FINISH	BUBBLE		
DTL	WALL FINISH DENOTATION		
WALL FINISH	BUBBLE		
DTL	MILLWORK FINISH BUBBLE		
MILLWORK	FINISH BUBBLE		

Abbreviation Index

No Scale
FFH Abbrev 2

Drawing Sheet Index		12/22/17	01/03/18	1/24/18	2/22/18																
SHEET	TITLE	Owner Review	Site Plan	Addendum #1	Addendum #2																
Architectural																					
A0.0	Cover Sheet / Code / Notes	0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T																			
A0.1	Accessibility Guidelines	0/C/P/T/0/C/P/T																			
SP1.0	Architectural Site Plan	0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T																			
SP1.1	Aerial Site Plan	0/C/P/T/0/C/P/T																			
A1.0	Keyed Notes and Legends	0/C/P/T/0/C/P/T																			
A1.1	Demolition Plan	0/C/P/T/0/C/P/T																			
A2.1	Dimensioned/Keyed Note Plan	0/C/P/T/0/C/P/T																			
A3.1	Reflected Ceiling Plan	0/C/P/T/0/C/P/T																			
A4.1	Details	0/C/P/T																			
A5.1	Exterior Elevations	0/C/P/T/0/C/P/T/0/C/P/T/0/C/P/T																			

Legend:	O: Owner	C: Contractor	L: Landlord	T: Tenant	P: Permits (Building/Health Departments)
Sheet Index	No Scale	2			
Detail 1. D.					

MBC 2015 (Michigan Building Code 2015) Effective April 20, 2017										
ICC/ANSI A117.1, 2009 & Michigan Barrier Free Design Law of Public Act 1 of 1966 as amended.										
MBC 2015 (Michigan Building Code 2015) - Chapter 13 & MEC 2015 (Michigan Uniform Energy Code 2015) - Chapter 4 & Michigan Uniform Energy Code, Part 10a, Rules (ANSI/ASHRAE 90.1-2013) Effective September 20, 2017										
MPC 2015 (Michigan Plumbing Code 2015) Effective April 20, 2017										
MMC 2015 (Michigan Mechanical Code 2015) Effective April 22, 2017										
IFGC 2015 (International Fuel Gas Code 2015) Effective April 20, 2017										
MRCES 2015 (Michigan Rehabilitation Code for Existing Buildings 2015) Effective December 13, 2016										
IFC 2012 (International Fire Code 2012), 2015 Michigan Building Code references the 2015 IFC (but that document has not been adopted at this time by the fire code official)										
NEC 2014 (State of Michigan Electrical Code) 2014 National Electrical Code with Part 8 Amendments Effective June 18, 2015										
Fire Suppression: Commercial: NFPA 13 (2013)										
Fire Alarm Commercial: NFPA 72 (2013)										
Building Type	II-B	Sprinklered	TBL 507 Unlimited Building Area							
Use Group	M	Assembly								
Tenant Area	28,151	Gross Area	Unlimited Area Building							
SPRINKLERED	Fullly									
Common Path of travel	75'	W/Sprinklers TM 1017.2								
EXIT Distance	250'	W/Sprinklers TM 1017.2								
Bearing Walls- Exterior	0	Hr Rating Required								
Bearing Walls-Interior	0	Hr Rating Required								
Tenant Separation Walls	0	Hr Rating Required								
Roof Assembly	0	Hr Rating Required								
Floor Assembly	0	Hr Rating Required								
Structural Framing	0	Hr Rating Required								
Occupant Load										
	Gross Factor	Area / Num	OCCUPANTS	Men	Women					
Sales Area	60	23,774	356	198	158					
Restrooms / Offices	30	1,022	34	17	17					
Stock Room	300	2,924	10	5	5					
		440		220 220						
Egress Width Required										
	Occupants	Factor per Occ (Inches)	Total Width Required (Inches)	Provided Egress Width (Inches)						
440	0.2	88,011	180							
Min Number Exits Required										
440	1-500	2.00	Exits req. Per 1006.2.1.1							
Egress Width Provided										
	Width in "	Adjusted Width *	Factor	Exits Provided						
Exit 1	72	66	0.2	330 1 sets- Double 36" Exit Doors						
Exit 2	36	33	0.2	165 Single 36" Exit Door						
Exit 3	36	33	0.2	165 Single 36" Exit Door						
Exit 4	36	33	0.2	165 Single 36" Exit Door						
SEE SHEET A2.4	180	165		825 Total Occupants Provided Exits						
Plumbing Fixtures Required										
	Merchandise	Male	Water Closets	Female	Lavatories	Male	Female	Showers	Fountain	Service Sink
Factor	500	500	500	750	750			1000		1
Calculated Occupants	220	220	220	220	220			440		1
Occupants / Factor	0.44	0.44	0.29	0.29	0.29			0.44		1
	1	1	1	1	1			1	1	1
Provided Standard Bathrooms										
		3		3	2		2		1	1

CODE REVIEW

No Scale
Detail 1. D. 1

METRO GROUP ARCHITECTS

P.O. Box 7363
Ann Arbor, Michigan 48107
Phone: (734) 747-8999



Family Farm and Home Interior Renovation

3685 East Grand River Ave
Howell, MI 48843

2/22/18 Addendum #2
1/24/18 Addendum #1
1/3/18 Site Plan Submission
12/22/17 Owner Review

Drawn: MMH Checked: RDK

171129

Sheet Index
Location Map
Abbreviations

A0.0

General Site Plan Notes:

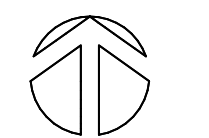
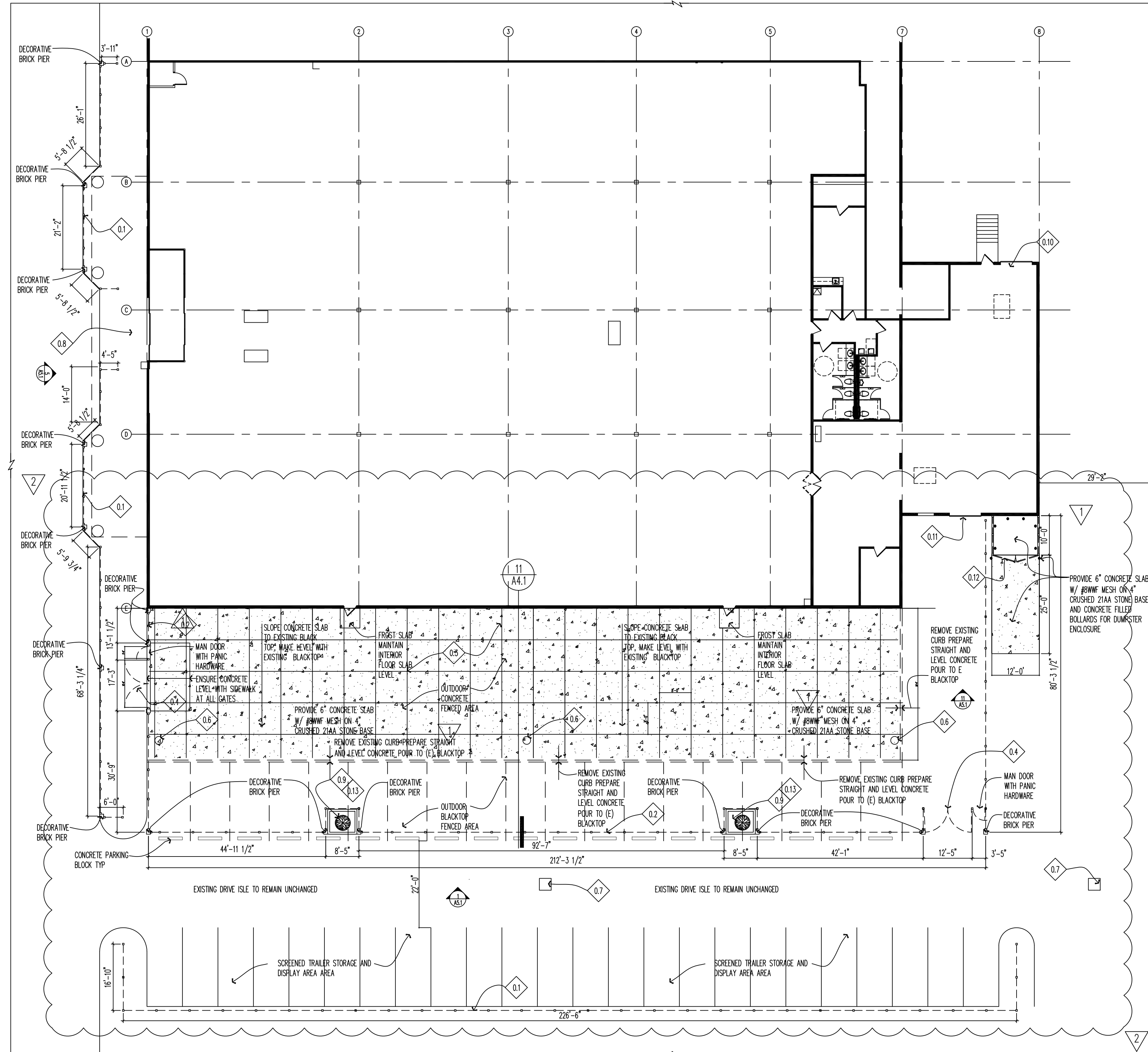
1. PLANS AND SPECIFICATIONS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
2. REPORT ANY DISCREPANCIES BETWEEN STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & ARCHITECTURAL DRAWINGS TO ARCHITECT IMMEDIATELY.
3. COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION DOCUMENTS, AND WITH APPLICABLE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS.
4. REFERENCE THE FOLLOWING SHEETS: GENERAL CONDITIONS & PLAN SYMBOLS, ACCESSIBILITY GUIDELINES, GENERAL SPECIFICATIONS.
5. MASONRY CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES.
6. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION.
7. SEE MEP DRAWINGS FOR MECHANICAL, ELECTRICAL, & PLUMBING INFORMATION.
8. MASONRY STEEL LINTELS ABOVE DOORS WINDOWS, ETC TO BE SHOP PRIMED & PAINTED TO MATCH COLORS OF FRAMES.
9. PRIOR TO START OF WORK CONTRACTOR TO VERIFY DIMENSIONS OF BUILDING AND SITE & NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.

General:

- ◊ 0.1 NEW 48" HIGH SCREEN
- ◊ 0.2 NEW 8'-0" HIGH PVC FENCE
- ◊ 0.3 NEW CONCRETE PAD FOR EXTERIOR STORAGE AREA
- ◊ 0.4 NEW 12'-0" WIDE GATE
- ◊ 0.5 REMOVE STRIPING FOR STAGING AREA
- ◊ 0.6 EXISTING 40'-0" HIGH LIGHT POLE
- ◊ 0.7 EXISTING STORM DRAIN
- ◊ 0.8 PATCH, REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALK
- ◊ 0.9 NEW PLANTER
- ◊ 0.10 EXISTING LOADING DOCK
- ◊ 0.11 NEW LOADING AREA
- ◊ 0.12 NEW DUMPSTER ENCLOSURE
- ◊ 0.13 NEW 10'-0" ARBORVITAE

Legend:

- ⊙ COLUMN DESIGNATION
- NEW FENCING
- ▬ NEW WALL
- EXISTING LIGHT POLE
- ▬ EXISTING DOOR (TO REMAIN)
- ▬ EXISTING WALL (TO REMAIN)





Family Farm and Home
 Interior Renovation

3685 East Grand River Ave
 Howell, MI 48843

2/22/18 Addendum #2

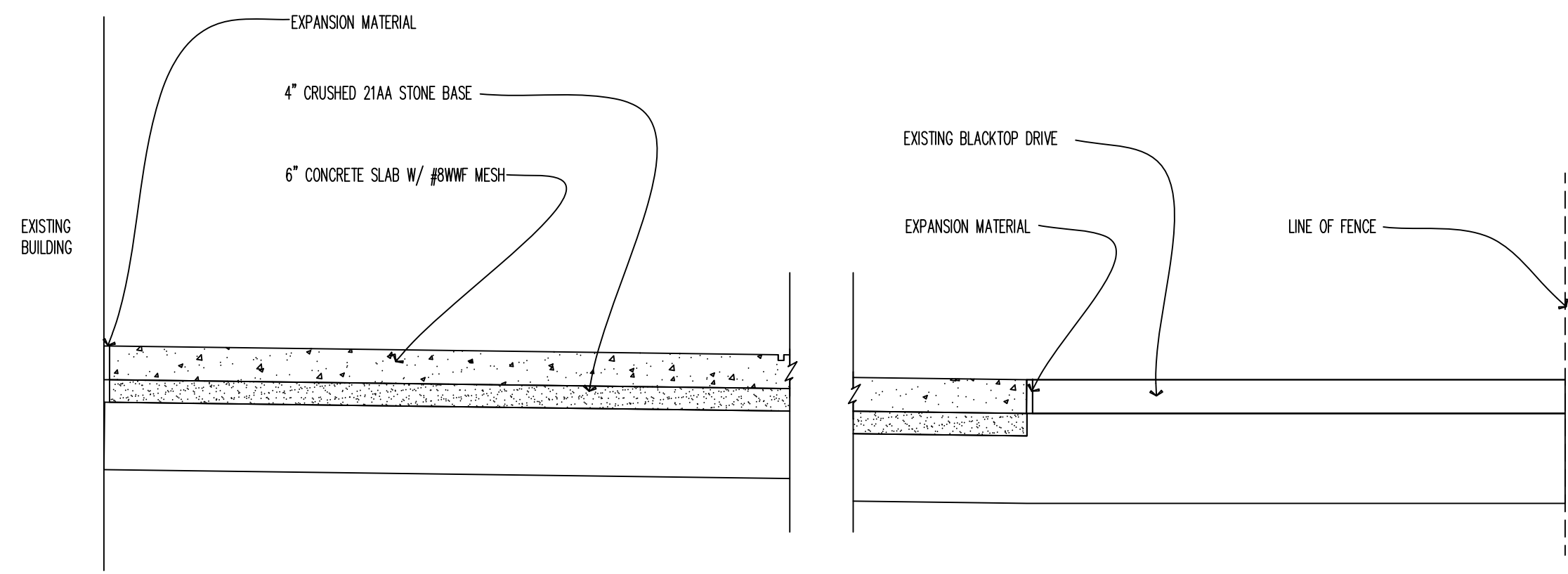
Revisions

Drawn: MMH Checked: RDK

171129

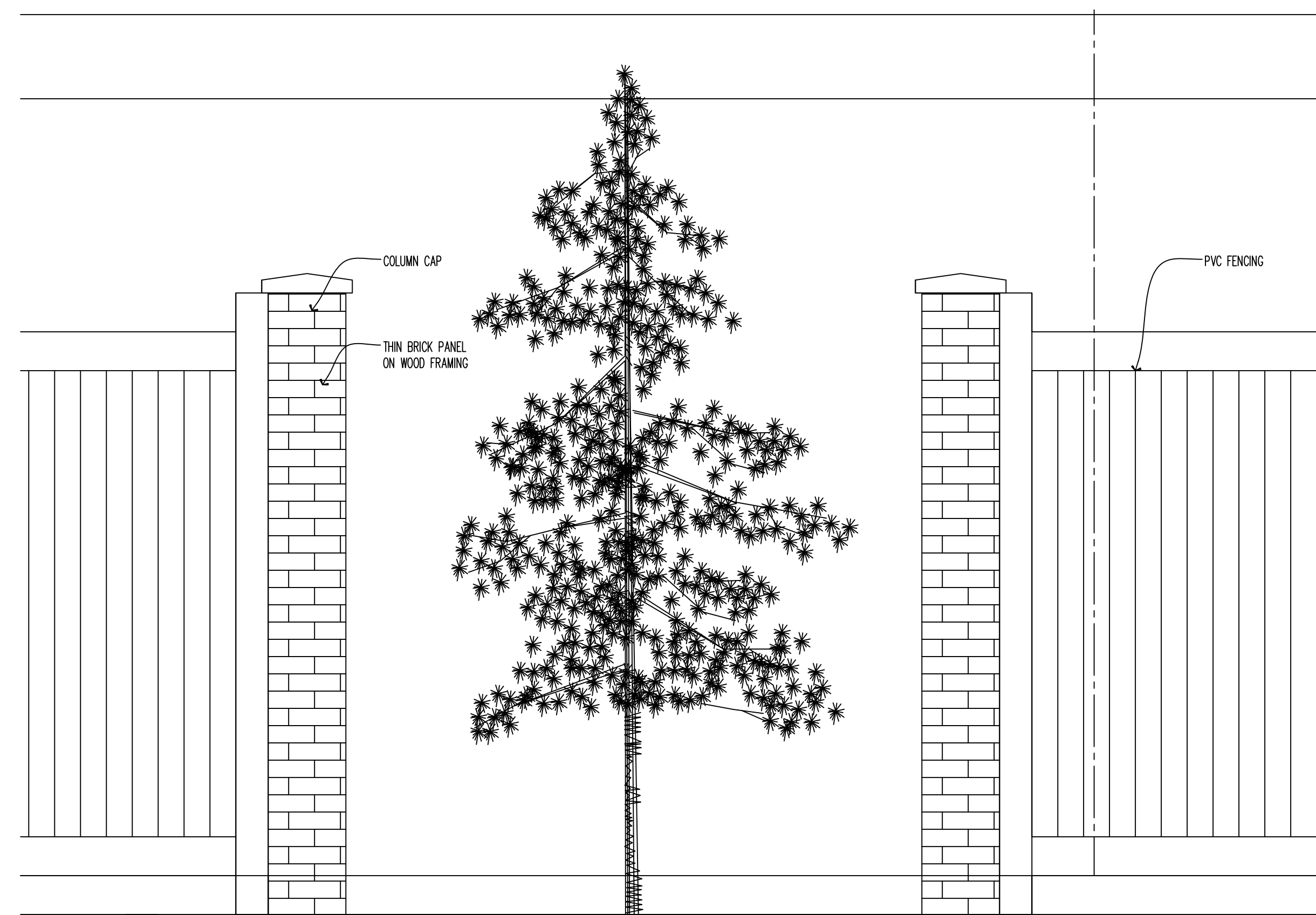
Details

A4.1



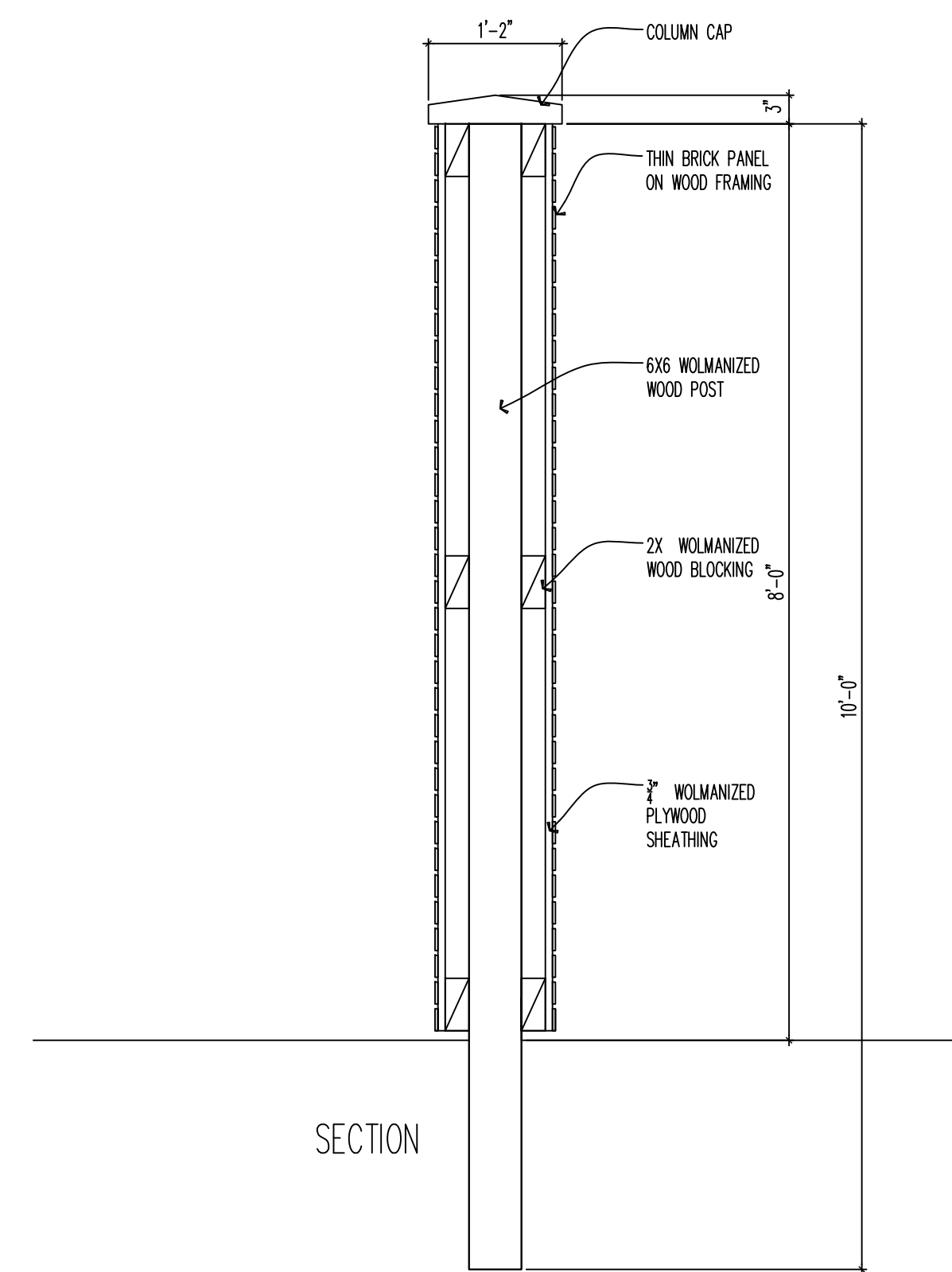
Concrete Slab Detail

1/2"=1'-0"
 FF&H-dt104 11



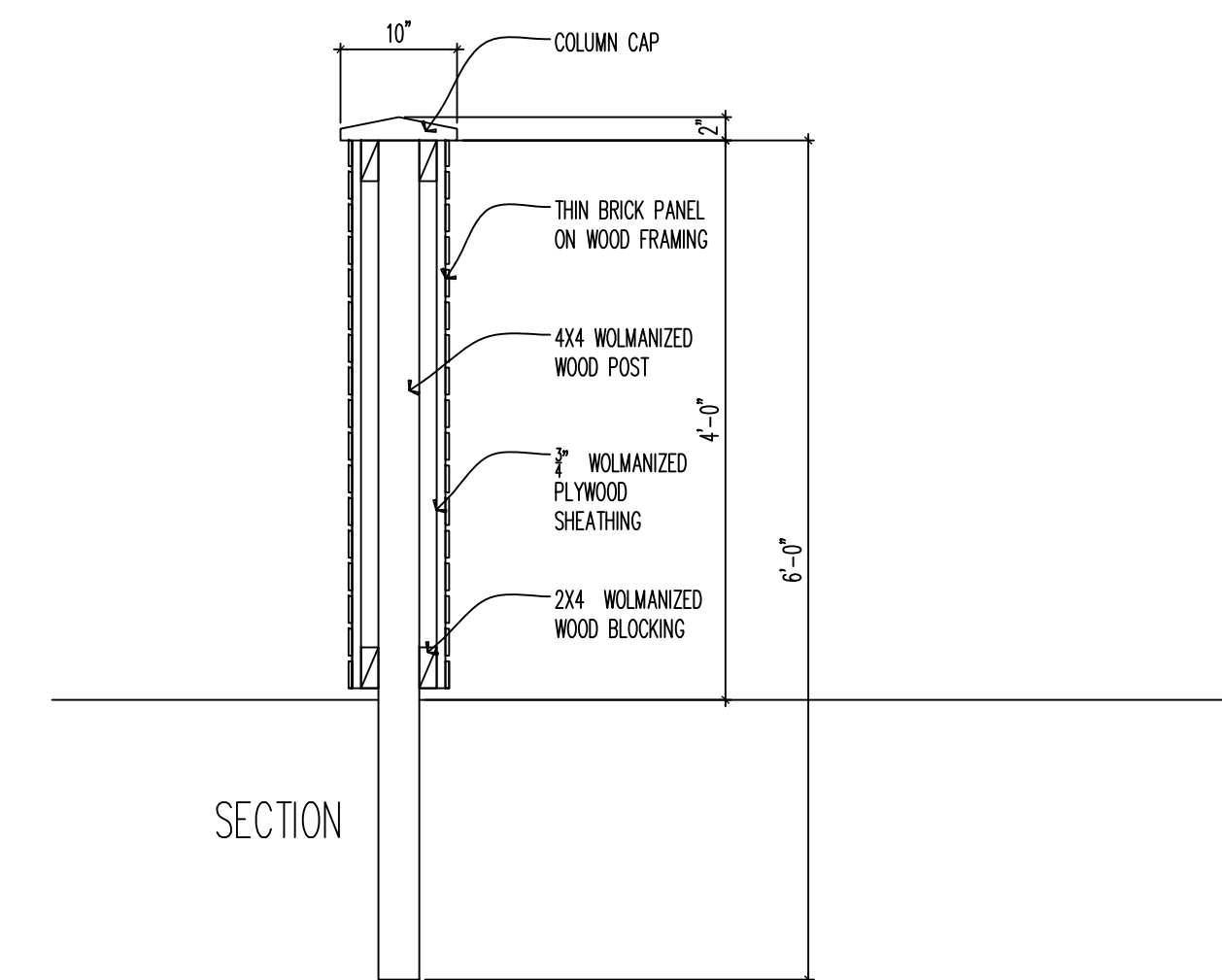
Enlarged Elevation at Fence Pier

3/4"=1'-0"
 FF&H-dt103 3



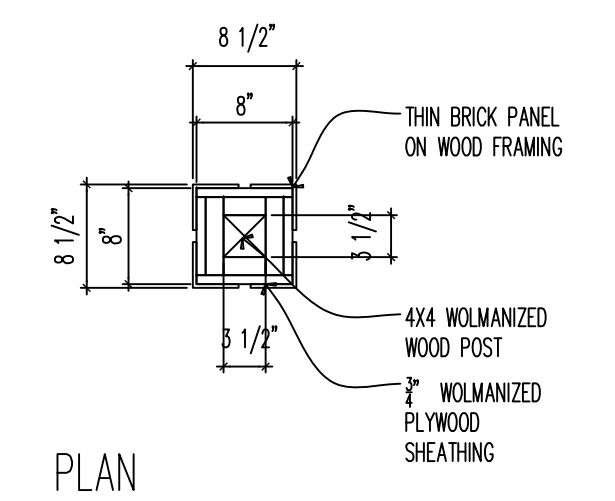
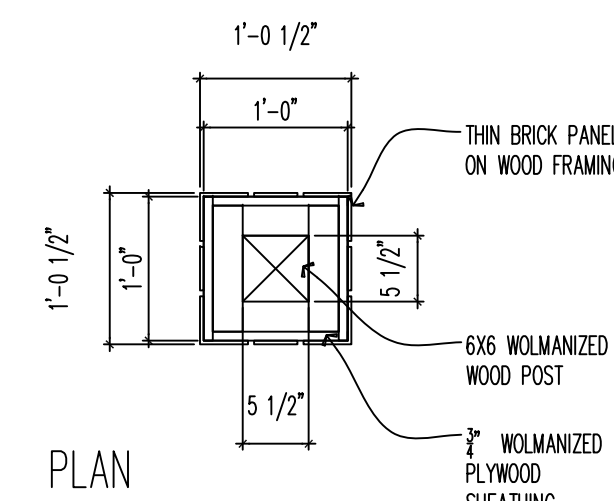
Detail at Fence Pier

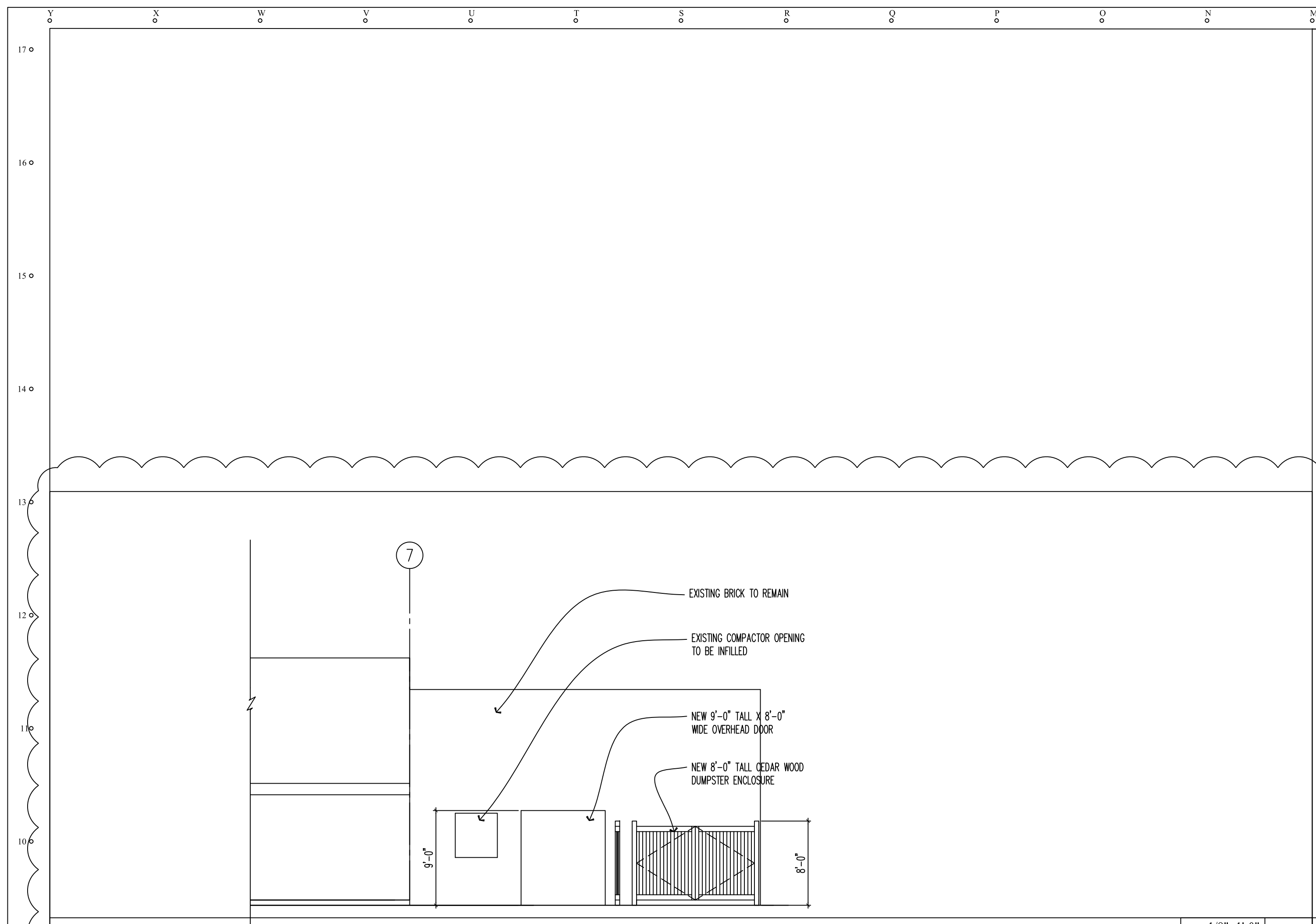
3/4"=1'-0"
 FF&H-dt102 2



Detail at Fence Pier

3/4"=1'-0"
 FF&H-dt101 1

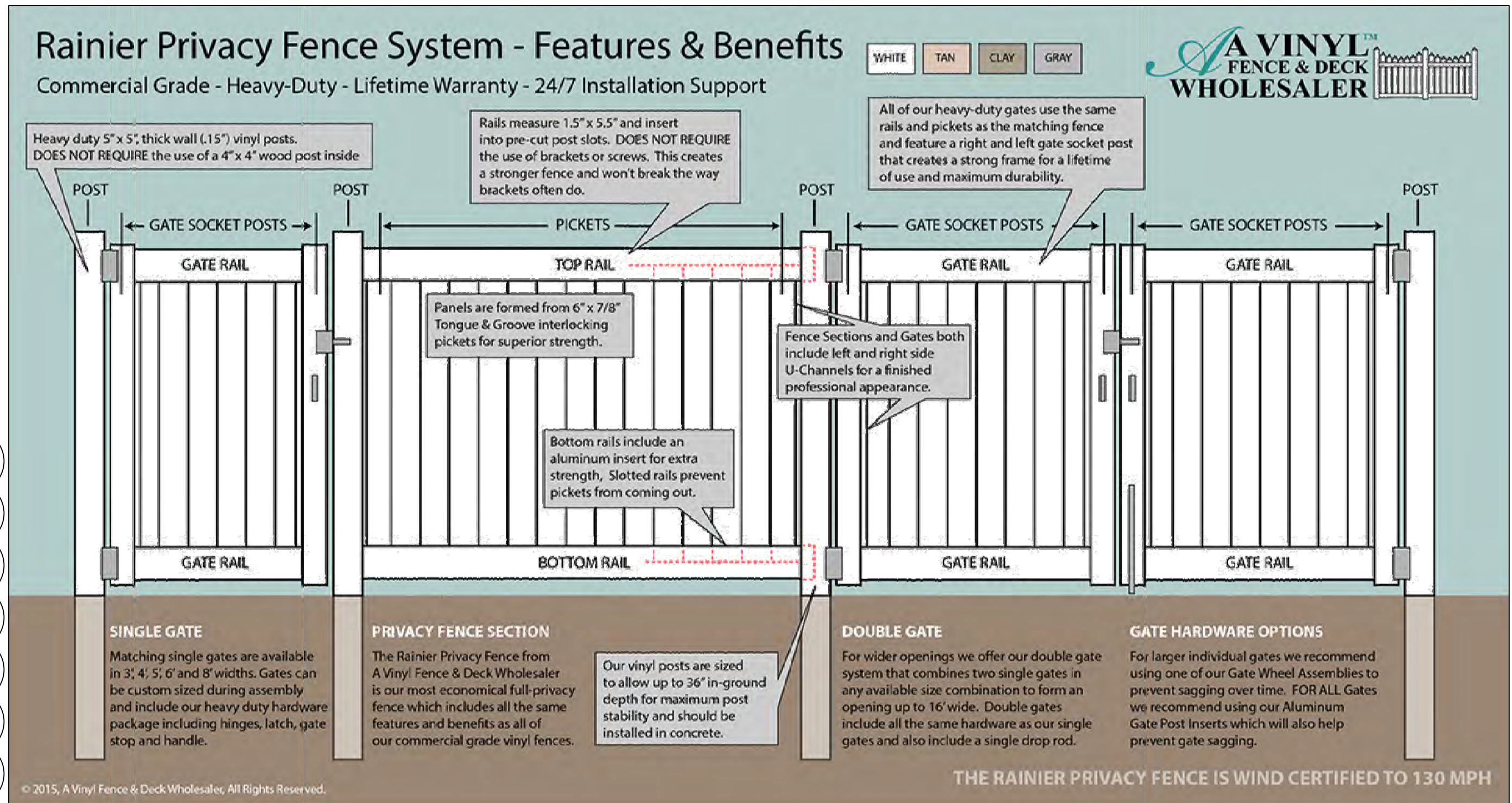




South Elevation at Loading Dock

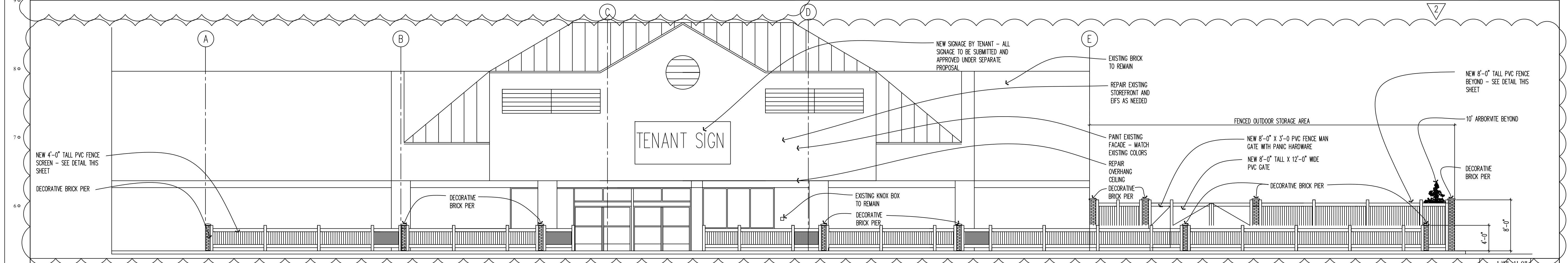
1/8"=1'-0"
FF&H-ee03 11

Fence Detail



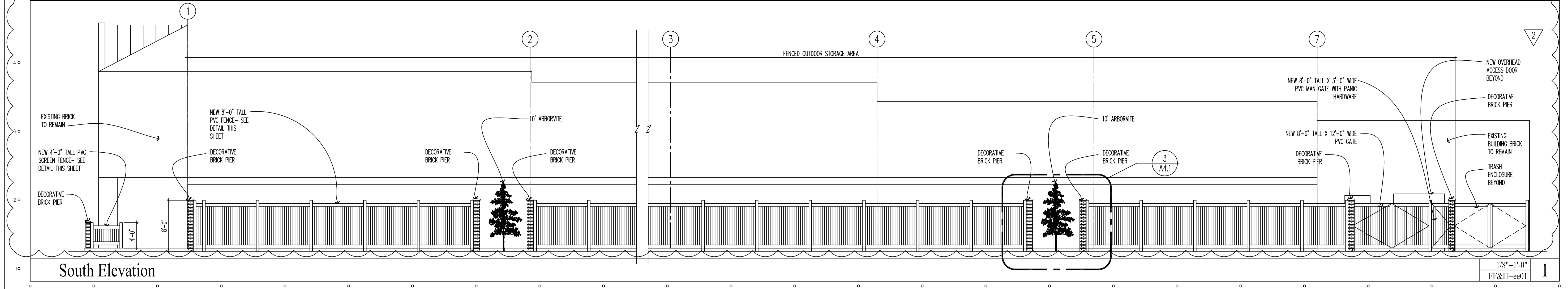
© 2015, A Vinyl Fence & Deck Wholesaler, All Rights Reserved.

N.T.S.
FF&H 9



West Elevation

1/8"=1'-0"
FF&H-ee02 5



South Elevation

1/8"=1'-0"
FF&H-ee01 1



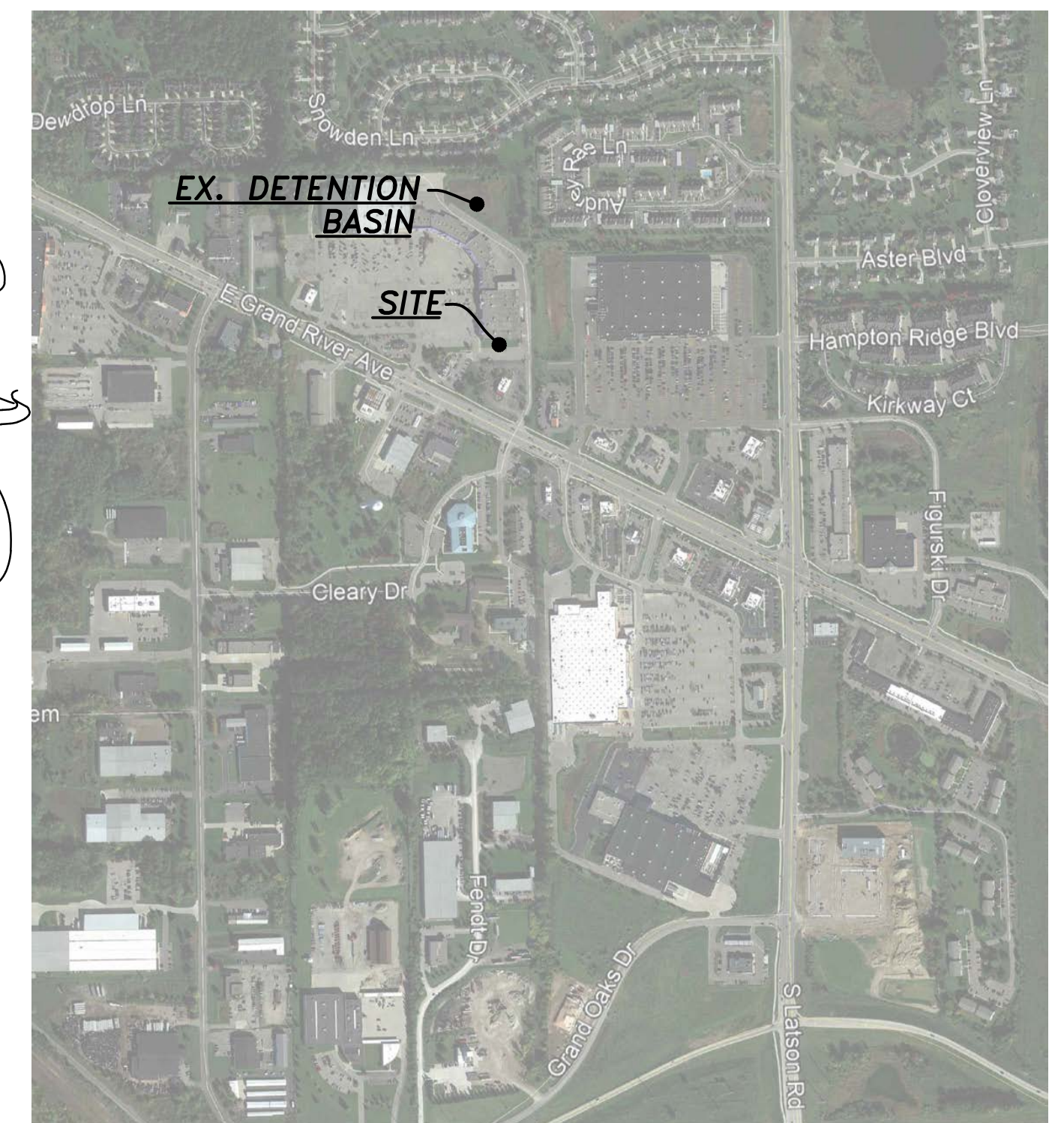
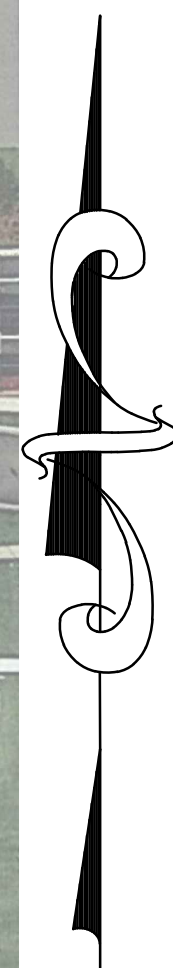
2/22/18 Addendum #2
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12/22/17 Owner Review

Drawn: MMH Checked: RDK

171129

Exterior Elevations

A5.1



SITE DATA:

SITE AREA: 12.74 ACRES± (GROSS)
 PARCEL ID: 4711-05-400-032
 EXISTING/PROPOSED ZONING: RCD REGIONAL COMMERCIAL DISTRICT
 BUILDING AREA: 28,151 S.F. FAMILY FARM AND HOME RENOVATION
 75,706 S.F. EXISTING RETAIL
 103,857 S.F. BUILDING TOTAL

REQUIRED PARKING:
 1 SPACE FOR EACH 250 SQUARE FEET OF GROSS RETAIL FLOOR AREA FOR THE FIRST 50,000 SQUARE FEET.
 ONE FOR EACH 275 SQUARE FEET FOR THE NEXT 50,000 TO 450,000 SQUARE FEET OF GROSS RETAIL FLOOR
 AREA. ONE FOR EACH 300 SQUARE FEET FOR THAT AREA IN EXCESS OF 450,000 SQUARE FEET OF GROSS
 RETAIL FLOOR AREA. NON-RETAIL USES SUCH AS RESTAURANTS, BARS AND THEATERS SHALL BE CALCULATED
 SEPARATELY BASED UPON THEIR RESPECTIVE REQUIREMENTS

$50,000 \text{ S.F. (RETAIL)} / 250 + 48,857 \text{ S.F. (RETAIL)} / 275 + 5,000 \text{ S.F. (ASIAN FUSION)} / 100 = 428$

428 TOTAL PARKING SPACES REQUIRED
 487 TOTAL PARKING SPACES PROVIDED (INCLUDES 18 B.F. SPACES)

NOTE: THE APPLICANT PROPOSES TO ENLARGE THE EXISTING DETENTION BASIN TO ACCOMMODATE THE
 INCREASE IN IMPERVIOUS AREA IF NECESSARY. ADDITIONAL INFORMATION TO BE PROVIDED IN THE DETAILED
 ENGINEERING PLAN STAGE.

SITE PLAN GENERAL NOTES:

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF GENOA TOWNSHIP.
- 2) THE CONTRACTOR SHALL NOTIFY "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR TO FIELD VERIFY LOCATION, ELEVATION, AND SIZE OF EXISTING UTILITIES.
- 4) PRELIMINARY SITE STUDY ONLY. A SURVEY WILL BE PROVIDED AT DETAILED ENGINEERING PLAN STAGE.
- 5) GRADING AND STORM WATER MANAGEMENT DETAILS WILL BE PROVIDED AT DETAILED ENGINEERING PLAN STAGE.

NOTICE:

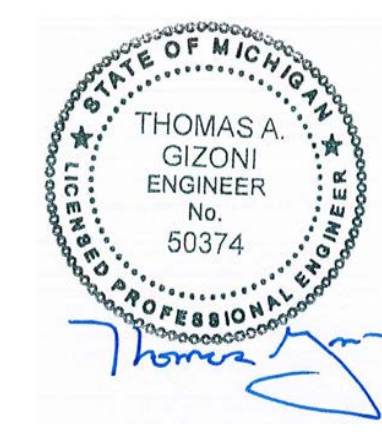
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

SHEET INDEX

1	SITE PLAN
2	TRUCK CIRCULATION PLAN



**PRELIMINARY
 NOT FOR CONSTRUCTION**

ALPINE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

RESIDENTIAL SUBDIVISIONS, SITE CONDOMINIUM, MULTI-FAMILY, PLOT PLANS, CONSTRUCTION LAYOUT

SURVEYING ALTA SURVEYS, BOUNDARY SURVEYS, TOPOGRAPHIC SURVEYS, PARCEL SPLITS

COMMERCIAL SITE PLANNING, SITE ENGINEERING, INDUSTRIAL & MULTI-UNIT LAND SURVEYING, CONSTRUCTION LAYOUT

48692 WEST ROAD, SUITE 109, NOVI, MICHIGAN 48377
 (248) 926-3701 (BUS), (248) 926-3765 (FAX), WWW.ALPINE-INC.NET

811
 Know what's below
 Call before you dig.

CLIENT: ASHMARK CONSTRUCTION, LLC

SITE PLAN

FAMILY FARM AND HOME - 3685 E. GRAND RIVER AVE.
 SECTION: 5 E TOWNSHIP: 5 RANGE: 2 N
 GENOA TOWNSHIP LIVINGSTON COUNTY MICHIGAN

REVISED 2018-02-22 REVISED PER CLIENT

DATE: 2018-01-23

DRAWN BY: TG

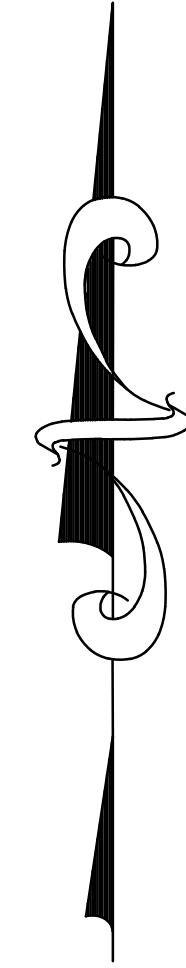
CHECKED BY: TG/SD

SCALE: HOR 1"=60 FT. VER 1"=10 FT.

FBK: 1

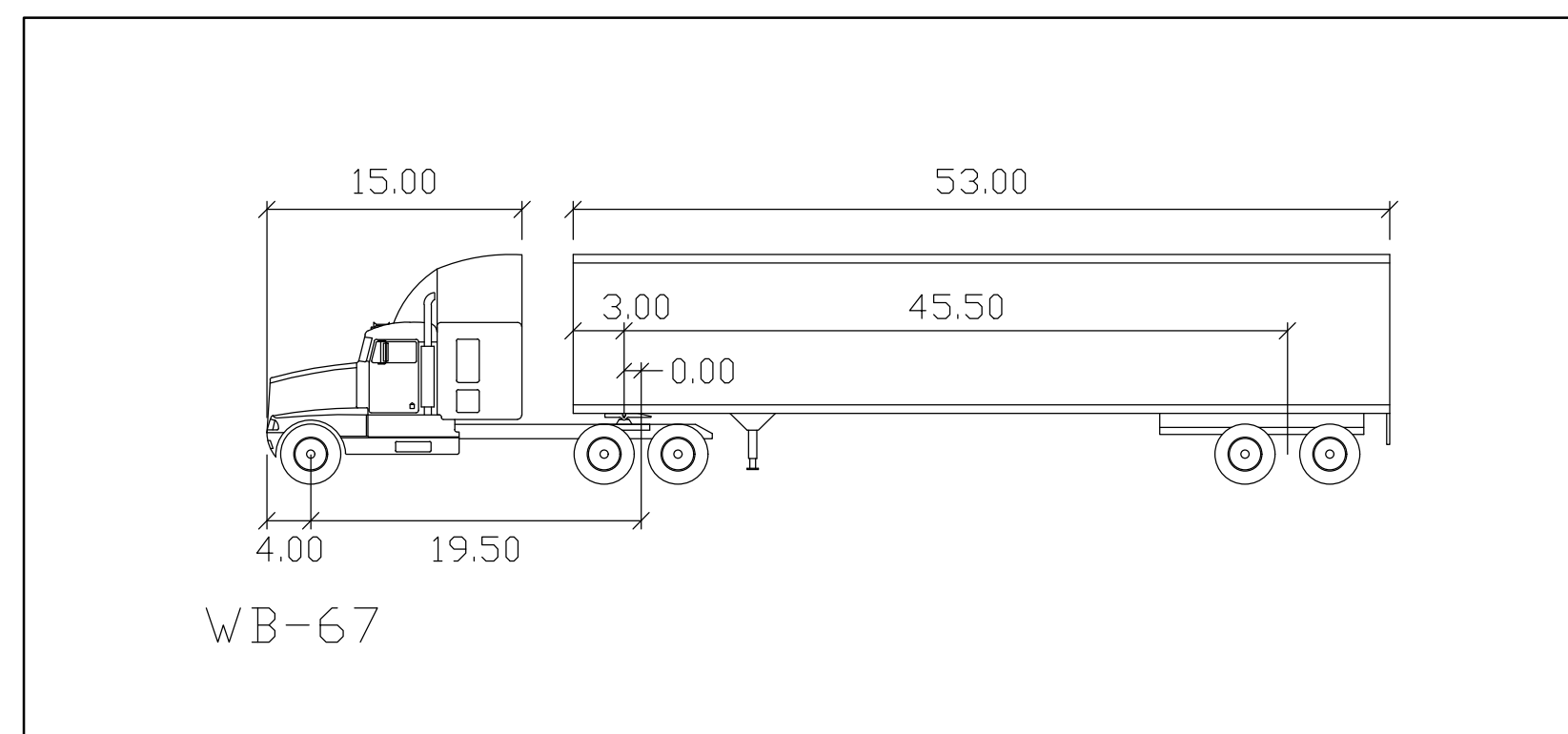
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17-516



NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

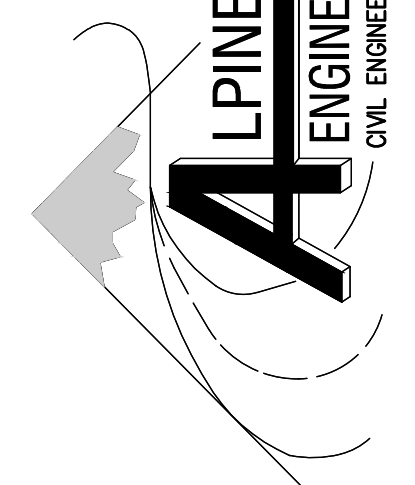
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COMMERCIAL
SITE PLANNING
SITE ENGINEERING
INDUSTRIAL & MULTI-UNIT
LAND SURVEYING
CONSTRUCTION LAYOUT

SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPLITS

RESIDENTIAL
SUBDIVISIONS
SITE CONDOMINIUM
MULTI-FAMILY
PLOT PLANS
CONSTRUCTION LAYOUT



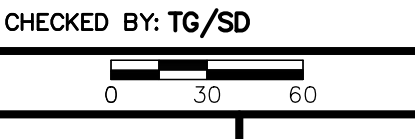
CLIENT: ASHMARK CONSTRUCTION, LLC

TRUCK CIRCULATION PLAN

FAMILY FARM AND HOME - 3685 E. GRAND RIVER AVE.
SECTION: 5 E TOWNSHIP: 5 RANGE: 2 N
GENOA TOWNSHIP LIVINGSTON COUNTY MICHIGAN

REVISED

DATE: 2018-01-23
DRAWN BY: TG
CHECKED BY: TG/SD



FBK:
CHF:

SCALE: HOR 1"=60 FT.
VER 1"=

2

17-516

**PRELIMINARY
NOT FOR CONSTRUCTION**