



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 18-03 Meeting Date: 2/20/18

PAID Variance Application Fee ck # 1248
\$125.00 for Residential | \$300.00 for Commercial/Industrial

Applicant/Owner: Marc Kremers Email: Marc Yavpe@yahoo.com
Property Address: 1230 Sunrise Park Phone: 517-404-8766
Present Zoning: LRR Tax Code: 11-09-201-171

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Each application for Variance is considered individually by the ZBA. The ZBA is board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed applicant, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested: proposed new home with front 2nd story deck
to project within 35' Front setback.
new setback from front line to Front Porch Eave is 23'
2. Intended property modifications: proposed removal of existing structure
& construction of new home

The following is per Article 23.05.03:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The proposed new structure would be set back further than existing and square with the adjacent homes. The front of the projected 2nd story deck would line up closely with adjacent homes.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The existing house/deck is currently setback 9' (deck) & 24' (house) from the front property line. Moving the new structure 35' back from front property line would greatly reduce visibility due to ~~the~~ adjacent homes.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The new projected structure will be better for public safety. The new house would be set back further than existing allowing for better visibility.

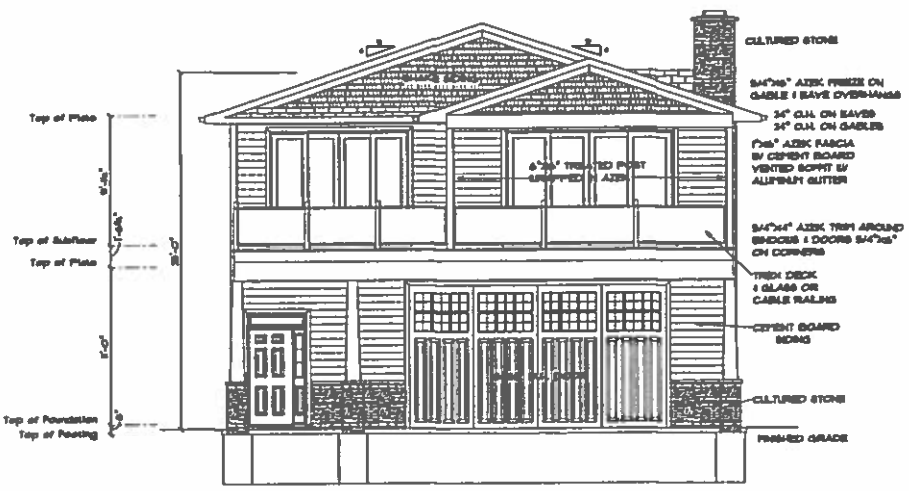
Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The projected construction would ~~be~~ improve the value and look of the adjacent properties.

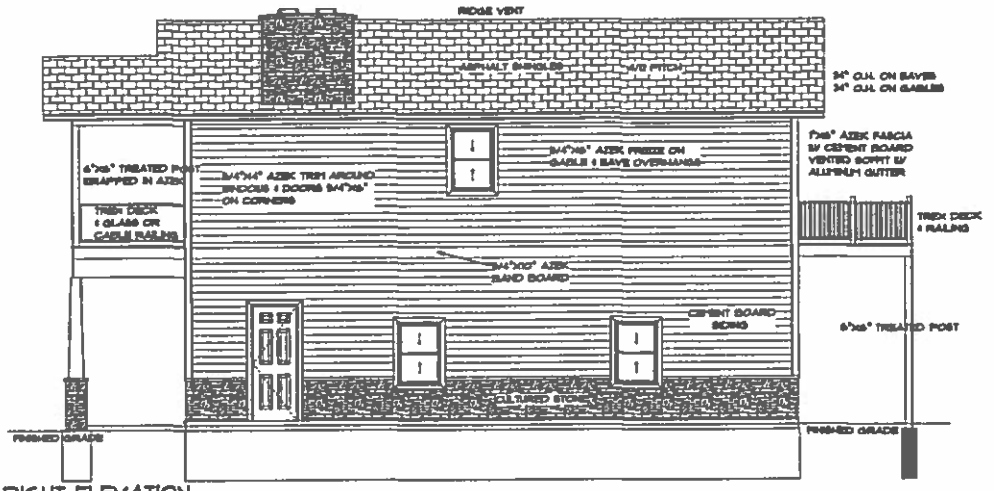
Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

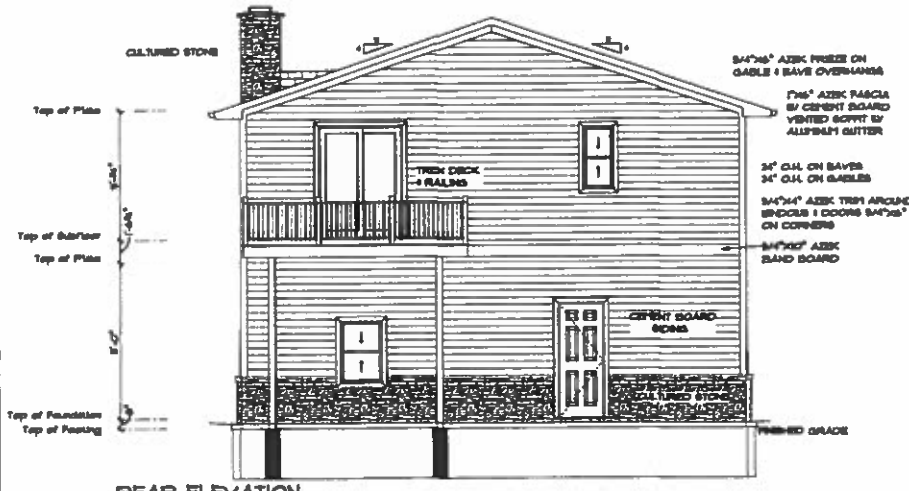
Date: 1-20-2018 Signature: [Signature]



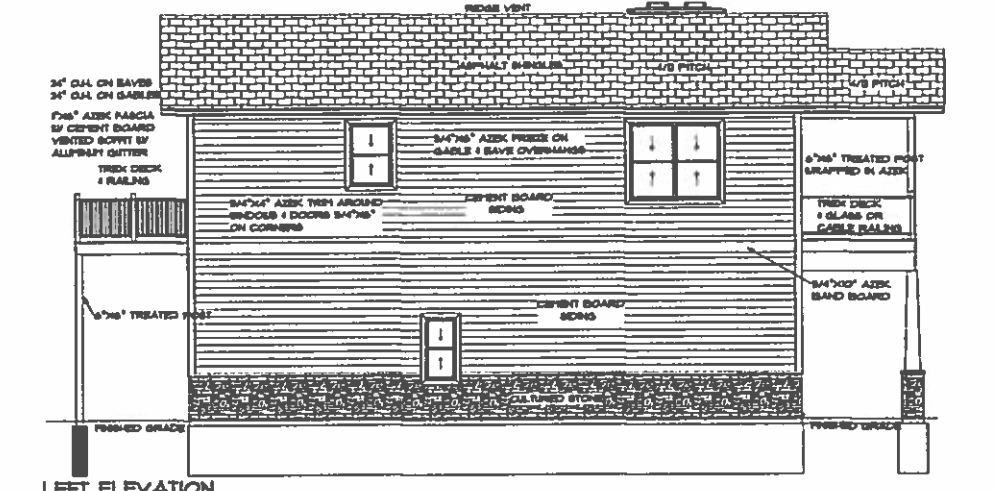
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



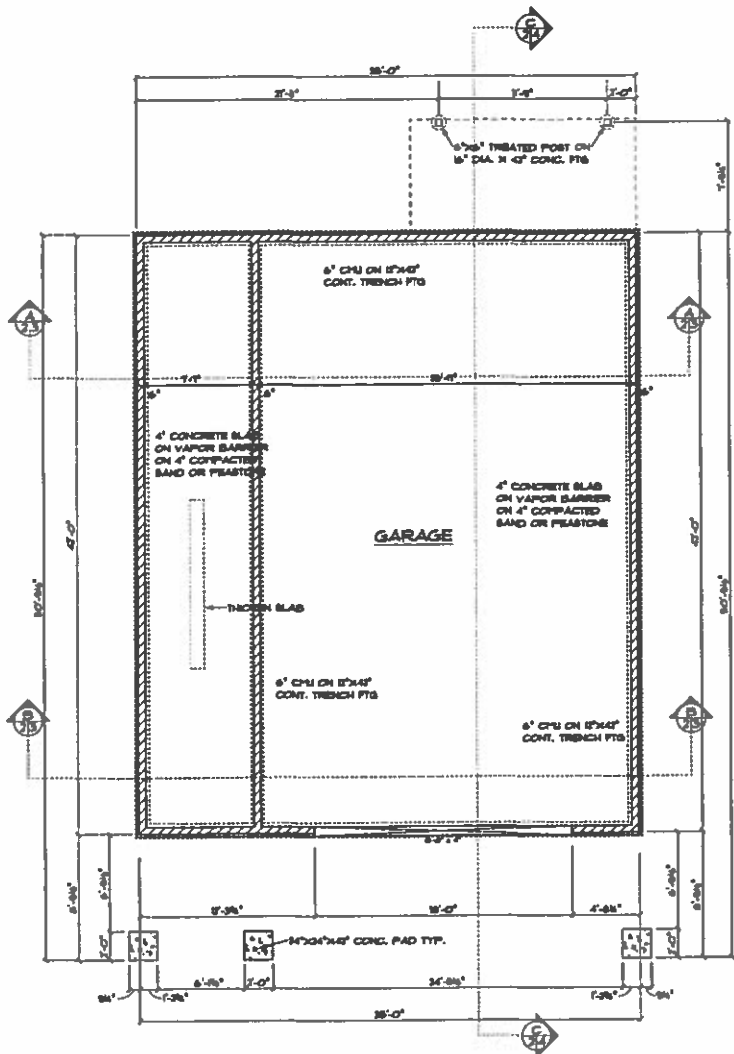
RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



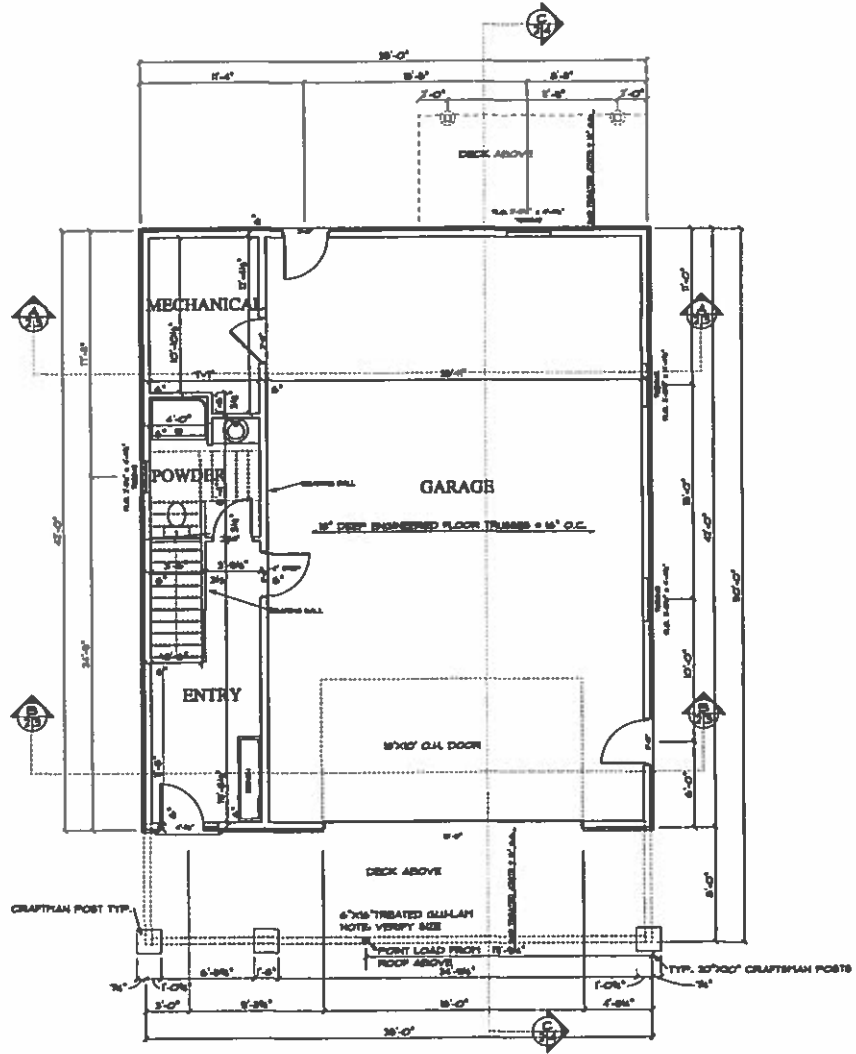
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



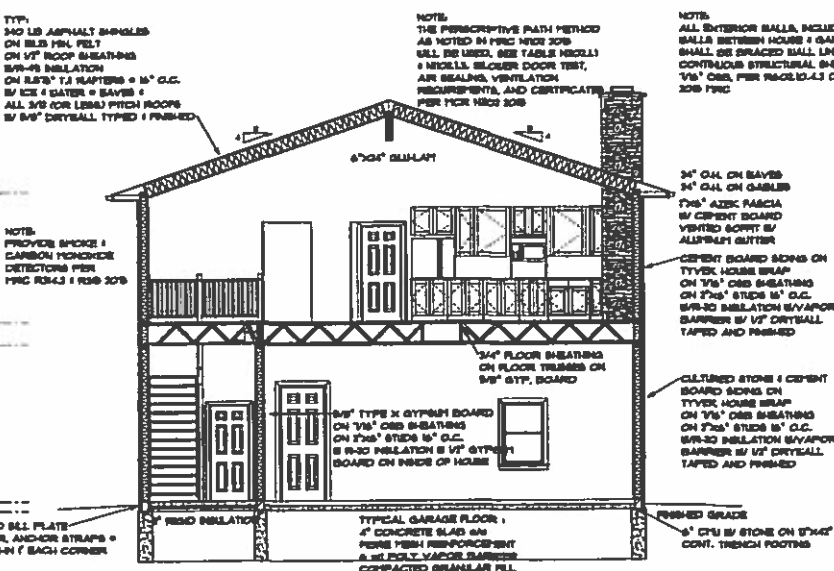
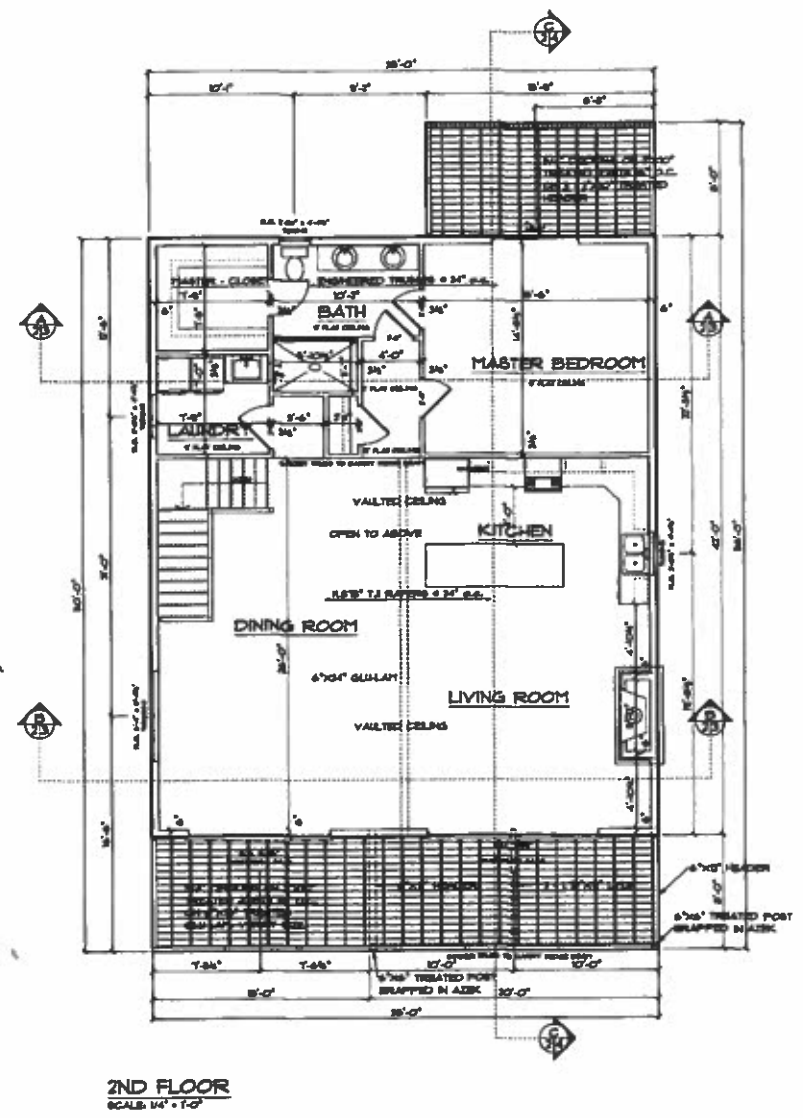
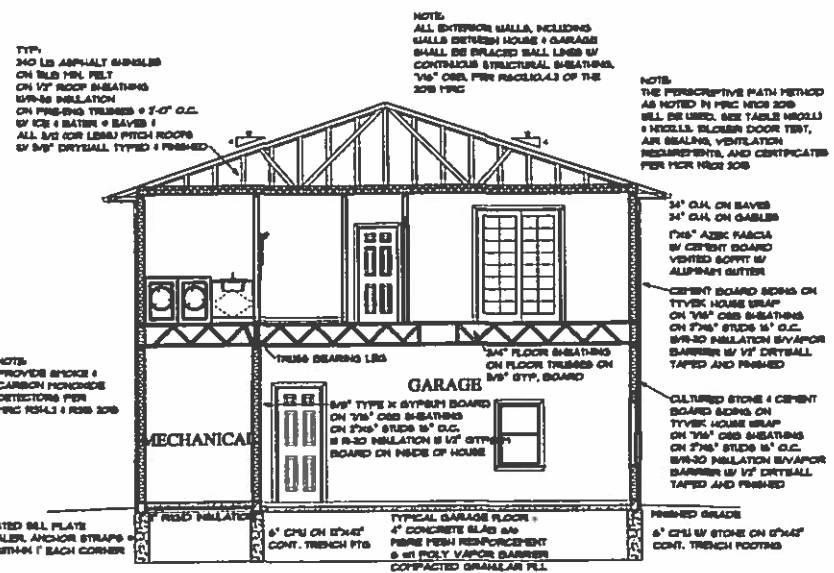
LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

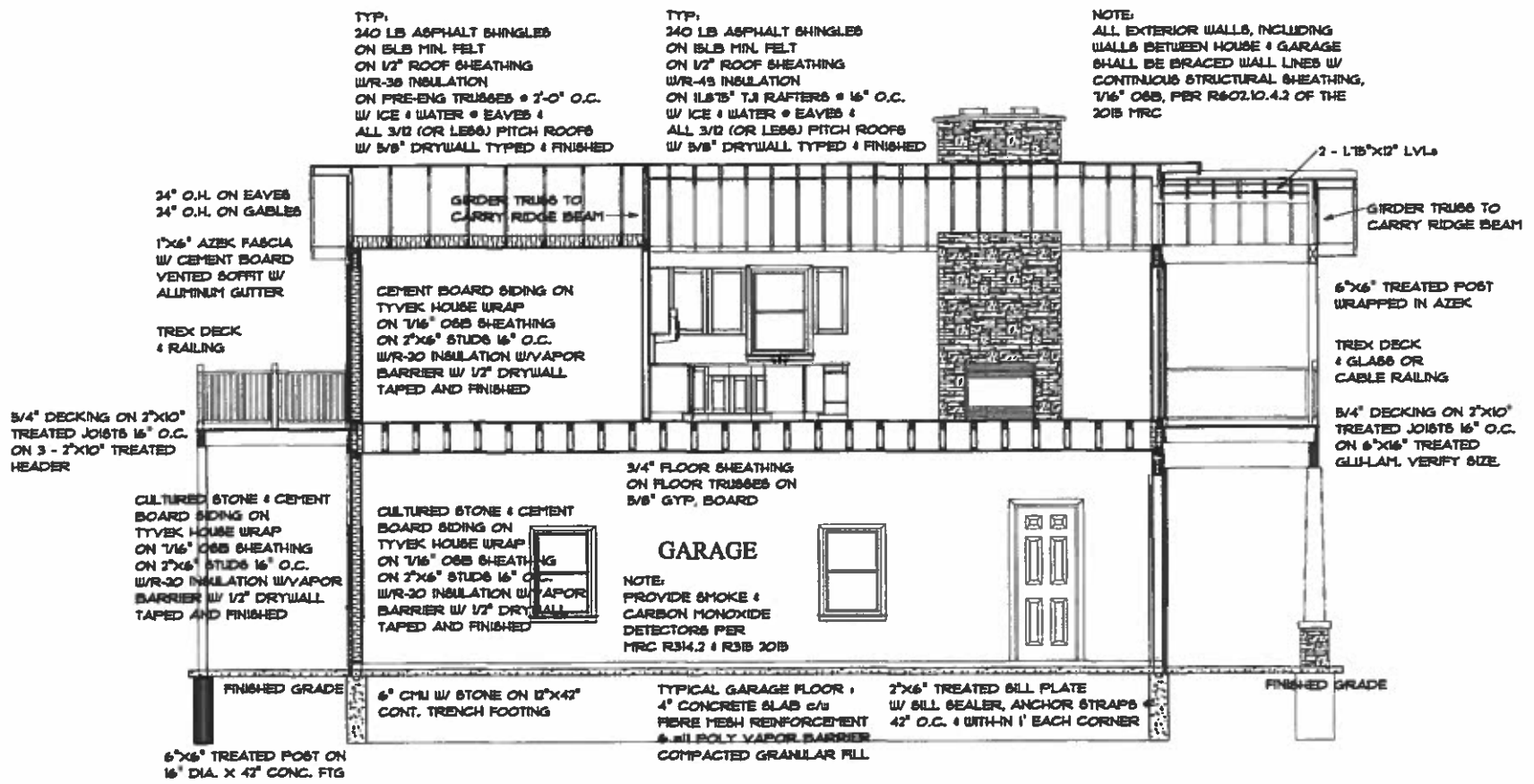


FOUNDATION
SCALE: 1/4" = 1'-0"



MAIN FLOOR
SCALE: 1/4" = 1'-0"

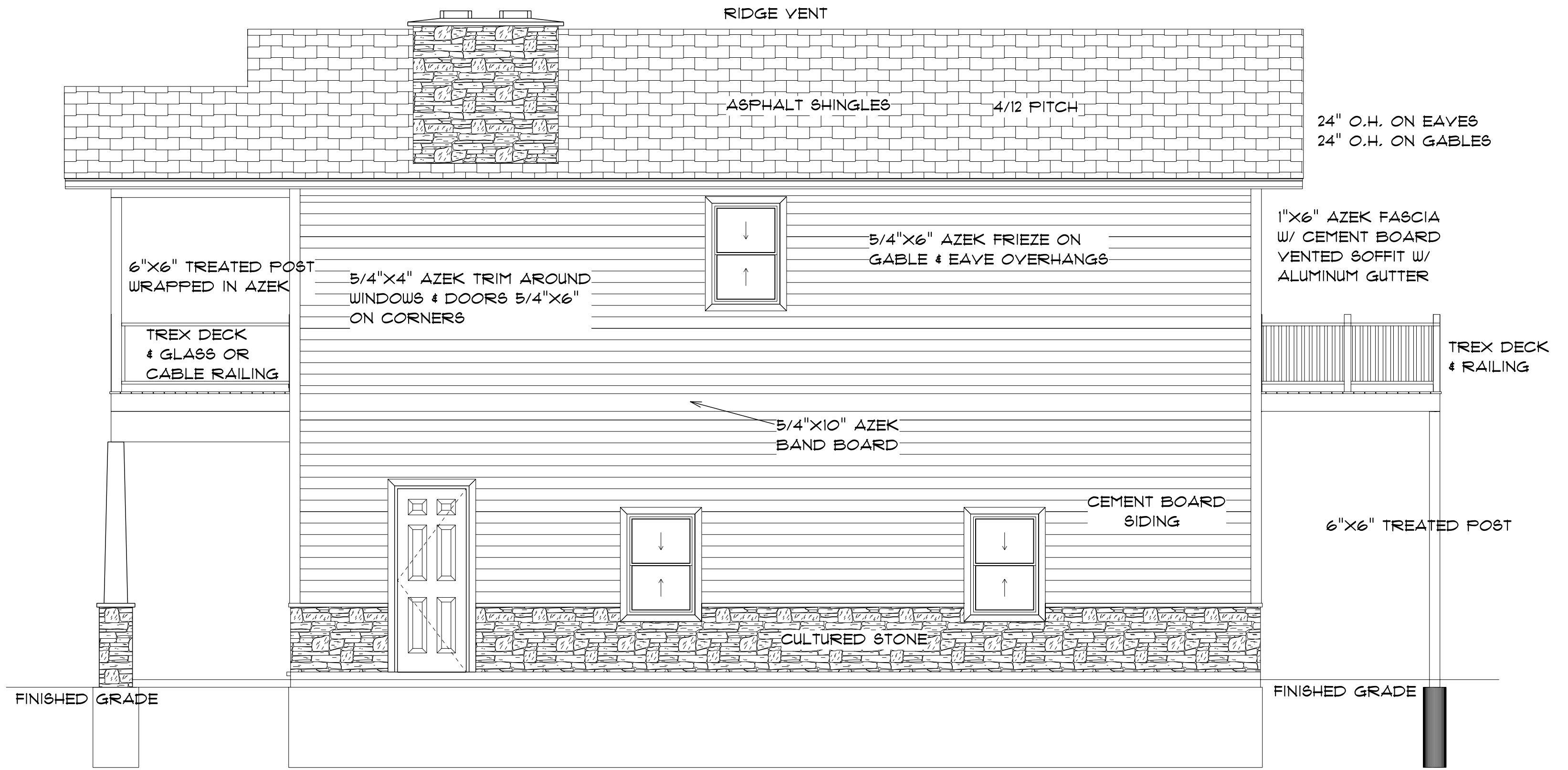




CROSS SECTION C-C
 SCALE: 3/8" = 1'-0"



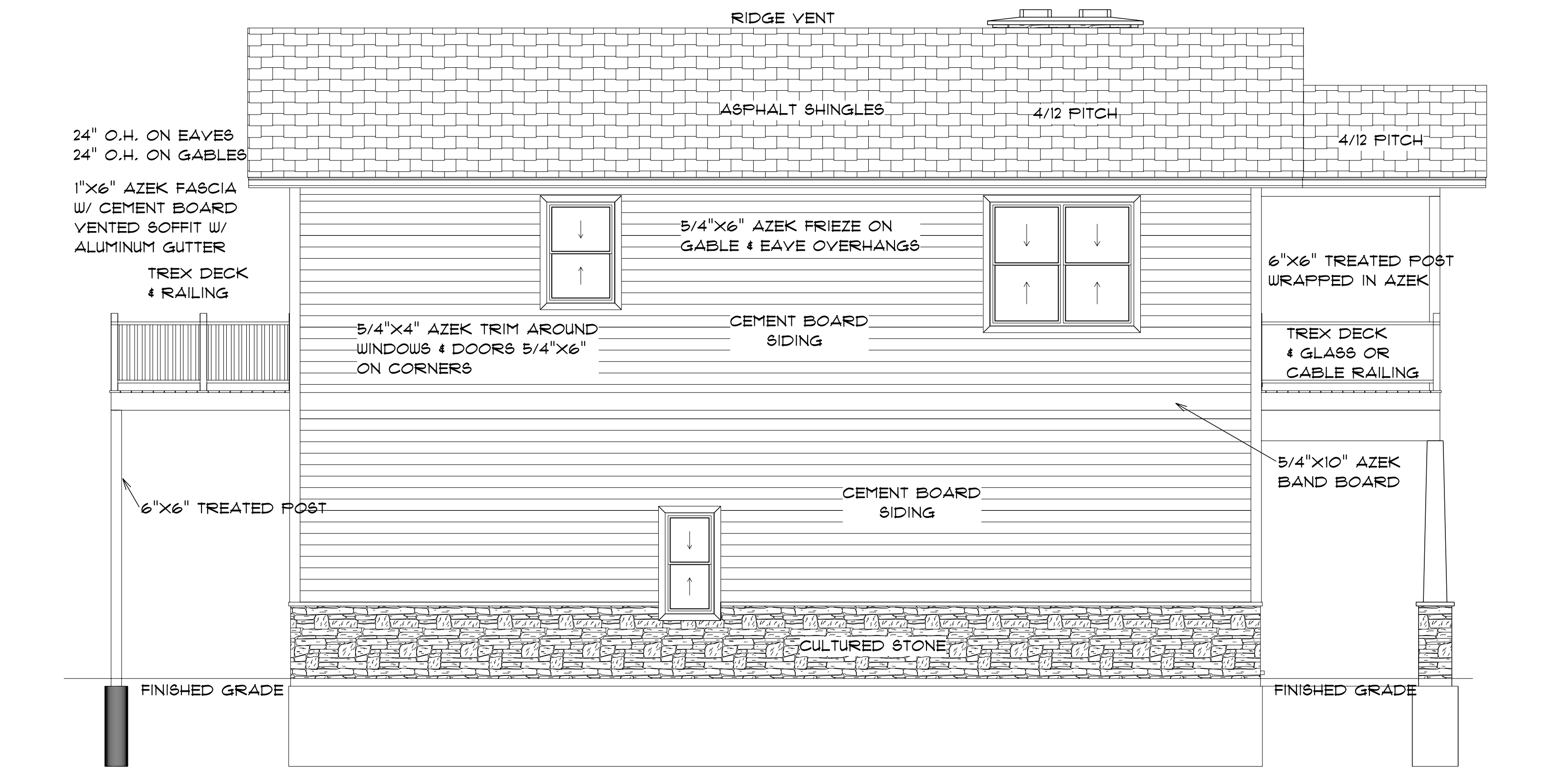
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



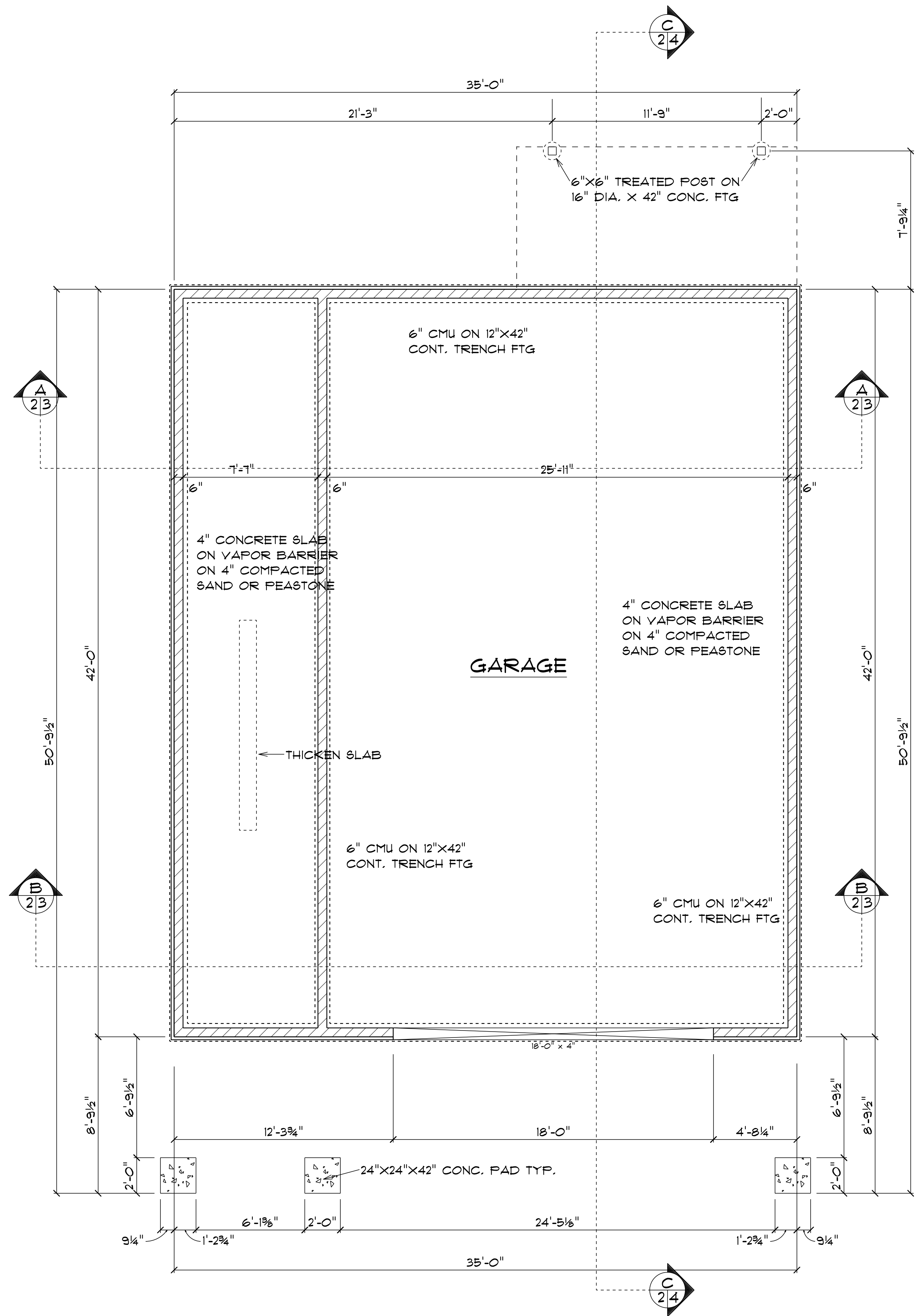
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



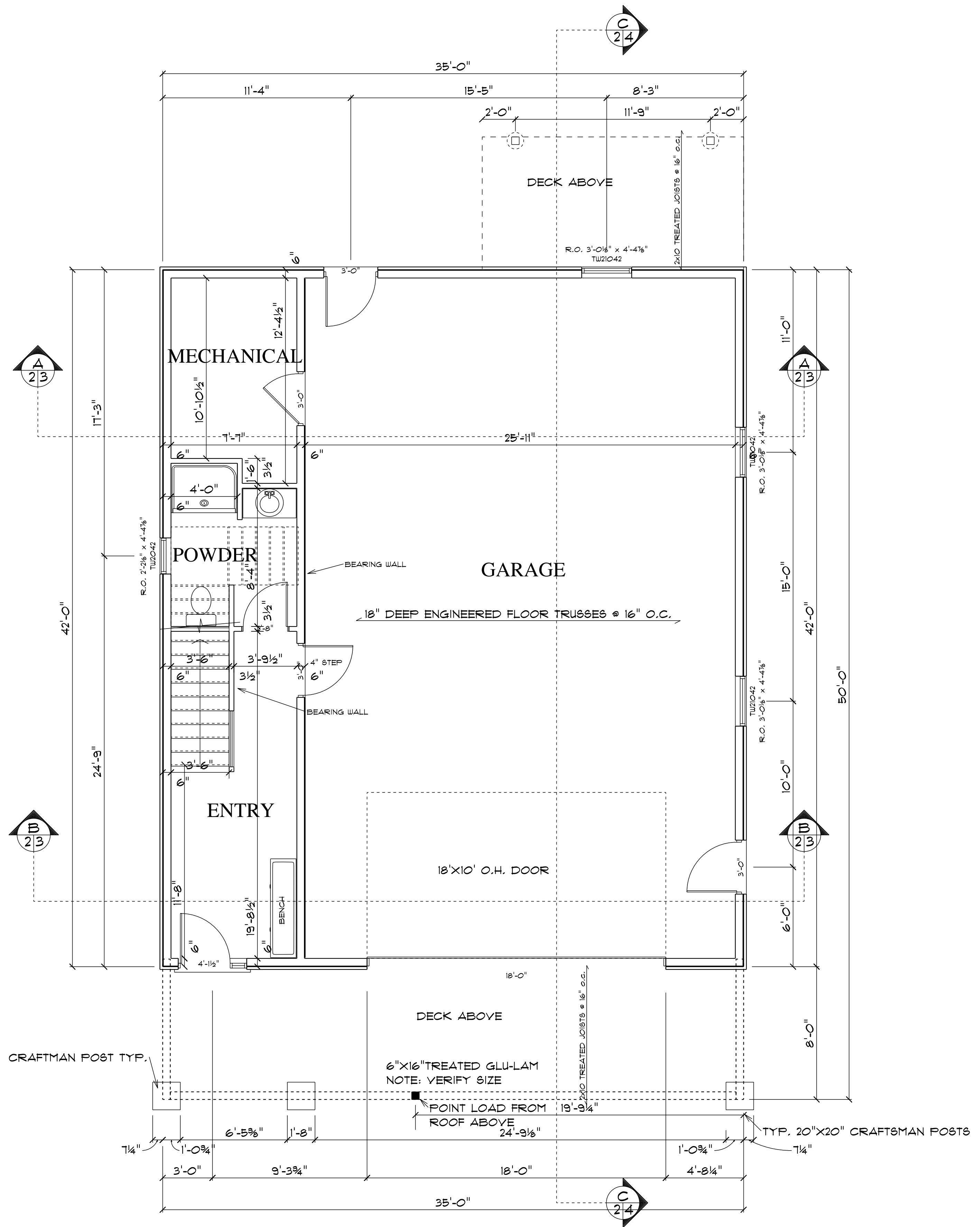
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FOUNDATION
SCALE: 1/4" = 1'-0"

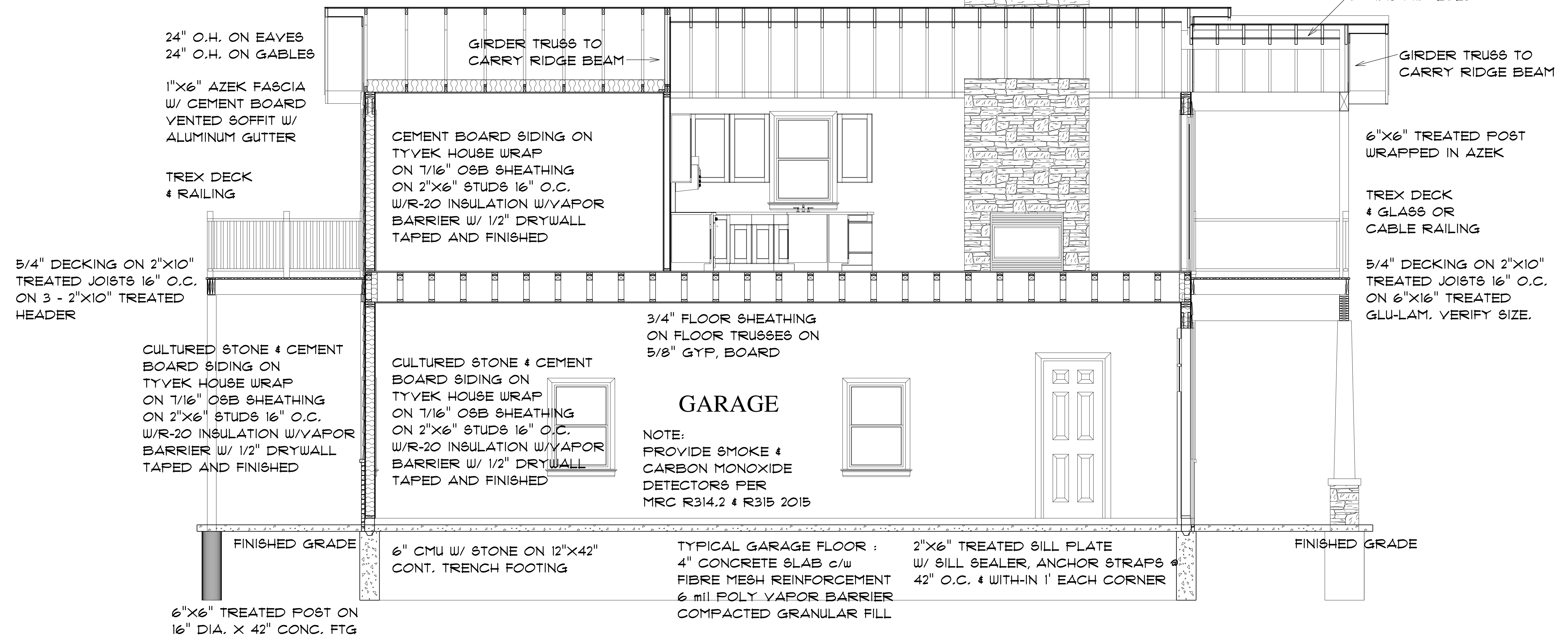


MAIN FLOOR
SCALE: 1/4" = 1'-0"

TYP:
240 LB ASPHALT SHINGLES
ON 15LB MIN. FELT
ON 1/2" ROOF SHEATHING
W/R-38 INSULATION
ON PRE-ENG TRUSSES @ 2'-0" O.C.
W/ ICE & WATER @ EAVES &
ALL 3/12 (OR LESS) PITCH ROOFS
W/ 5/8" DRYWALL TYPED & FINISHED

TYP:
240 LB ASPHALT SHINGLES
ON 15LB MIN. FELT
ON 1/2" ROOF SHEATHING
W/R-49 INSULATION
ON 11.875" TJI RAFTERS @ 16" O.C.
W/ ICE & WATER @ EAVES &
ALL 3/12 (OR LESS) PITCH ROOFS
W/ 5/8" DRYWALL TYPED & FINISHED

NOTE:
ALL EXTERIOR WALLS, INCLUDING
WALLS BETWEEN HOUSE & GARAGE
SHALL BE BRACED WALL LINES W/
CONTINUOUS STRUCTURAL SHEATHING,
1/16" OSB, PER R602.10.4.2 OF THE
2015 MRC



C CROSS SECTION C-C
SCALE: 3/8" = 1'-0"