



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 18-01 Meeting Date: Feb 20, 2018

PAID Variance Application Fee  
\$125.00 for Residential | \$300.00 for Commercial/Industrial

Applicant/Owner: Robert Lay  
Property Address: 1824 S. Hughes Phone: 989-701-0477  
Present Zoning: Residential Tax Code: 11-11-305-003

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals (see attached).

Each application for Variance is considered individually by the ZBA. The ZBA is board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed applicant, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested: Property line set-backs. Variance for second story addition. Addition will cover and match existing

structure. Front: current 32ft requesting 3ft variance. SW side current 4ft requesting 6ft variance (total 10 ft.)

2. Intended property modifications:

Remove first story roof to add on second story over existing footprint. Update siding and windows. Improve and enlarge existing driveway.

The following is per Article 23.05.03:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The addition would provide adequate living space for the family. The addition will also increase the values of surrounding homes. Similar homes on S. Hughes have added second stories due to the inability to increase footprint.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Home is not of adequate size for family. Multiple properties on S. Hughes have added second stories. Neighbor on NW side is existing two story structure

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

No - home on SW side of project is left away.  
No existing structure on NW side of property. Property is owned by the township.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

No - home will only increase the property value of existing homes in surrounding area.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

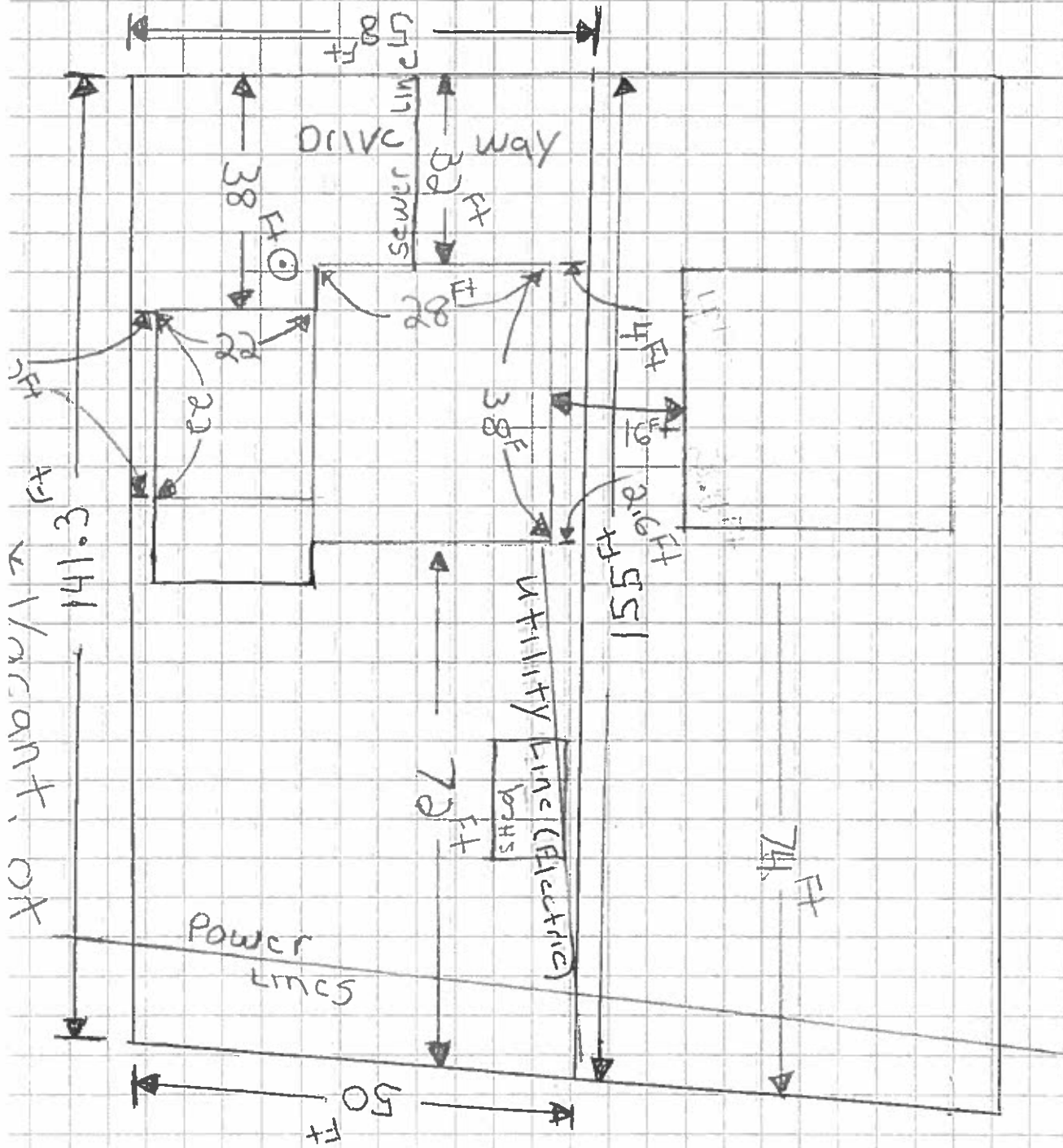
After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 1-4-18

Signature: 

⊙ = well

Hughes Road



130 MPH Class A Shingles

30# Felt Paper

Ice & Water Shield

1/2 OSB

Ridge Vent

6/12

Engineered Trusses

\* See attached for spec

Metal Drip Edge

2ft Overhang

1x6 Facia/Alum

WRAP

Alum Soffit

Double Top Plate

2x6 Wall Stud 16" OC

R19 Batt Insulation

Sill Sealer

5/8 Drywall

3/4 T&G sub Floor

18" Floor Truss 16" OC

\* See attached

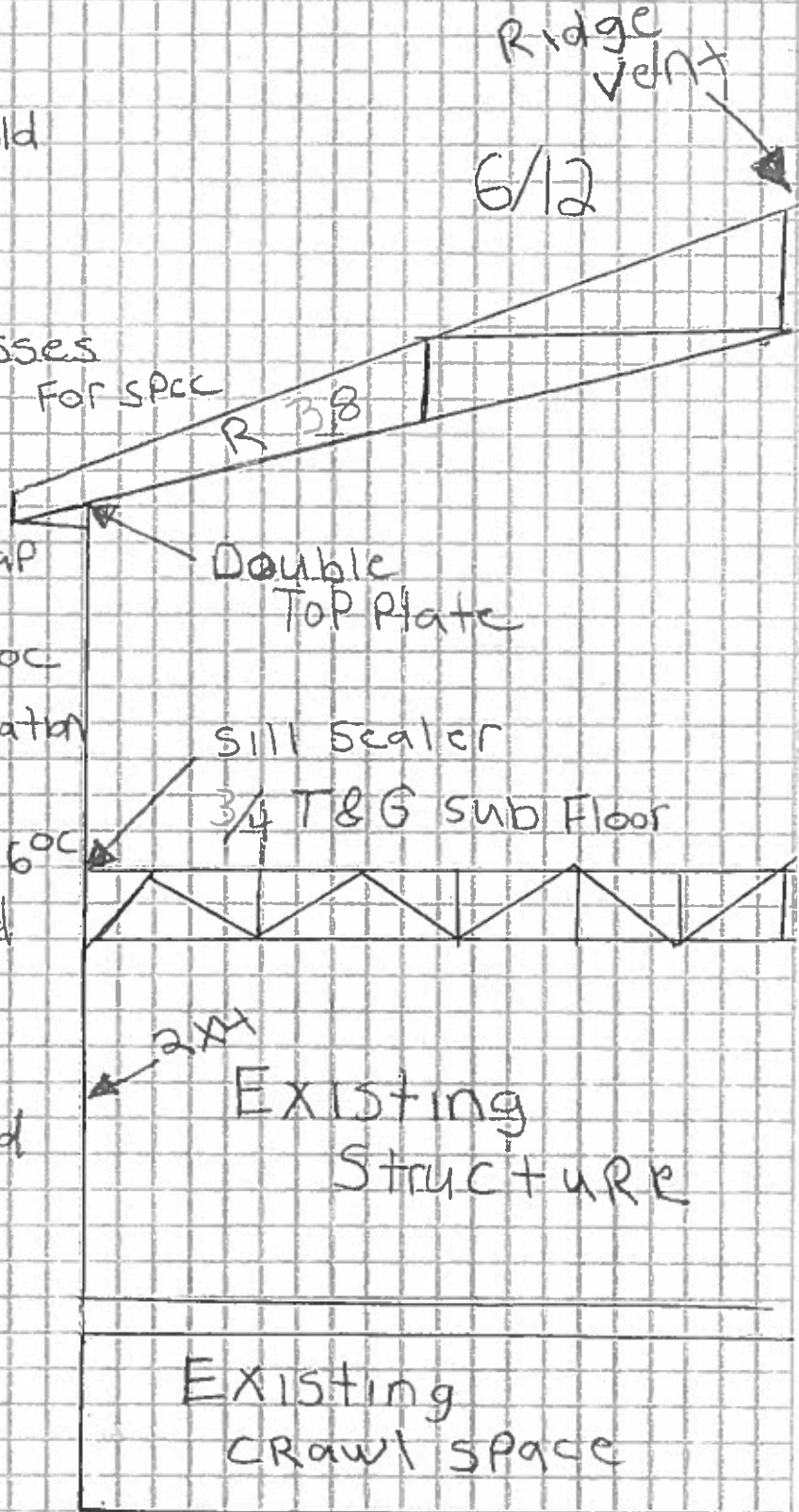
\* Windows

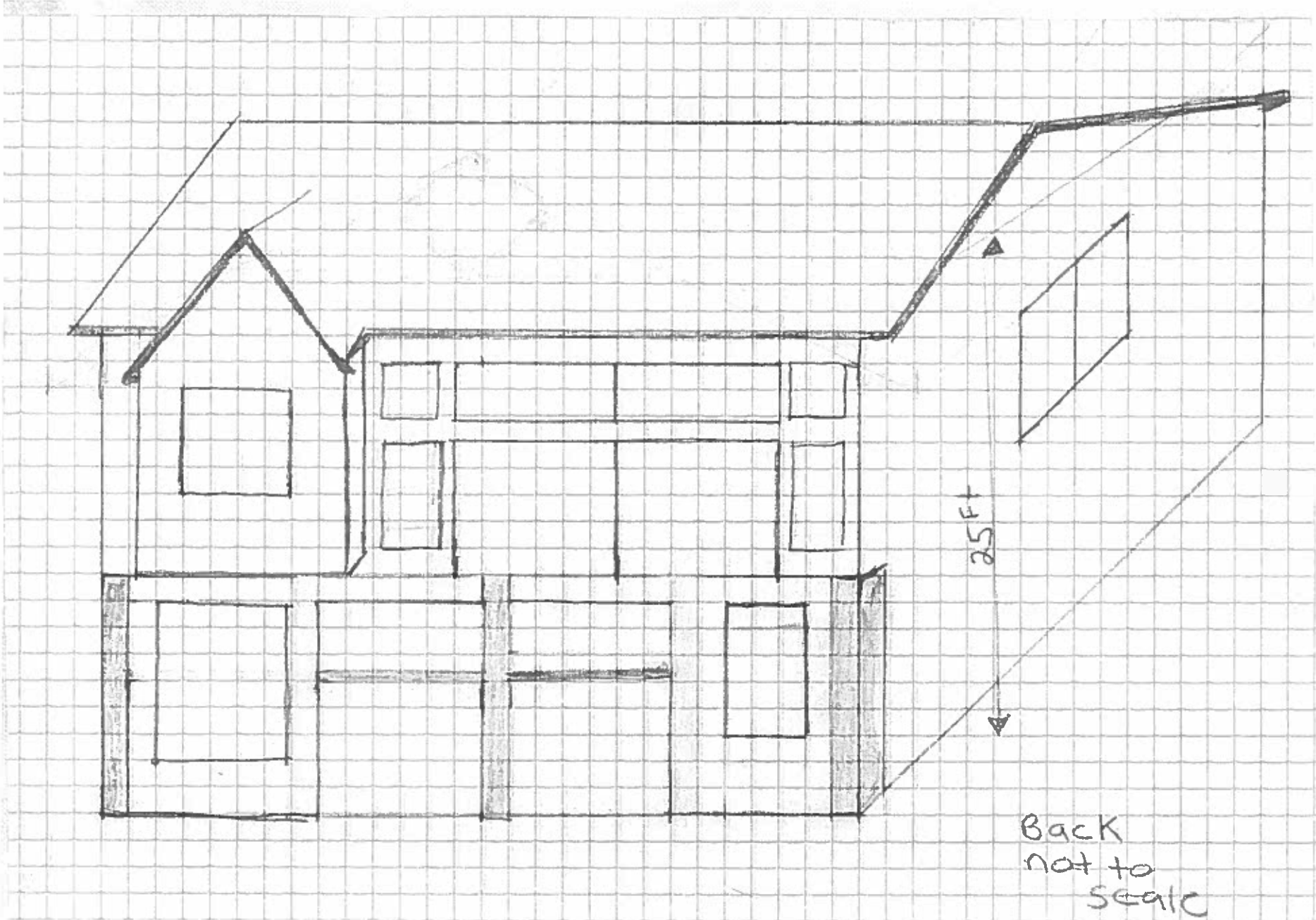
See attached

2x4

EXISTING  
STRUCTURE

EXISTING  
CRAWL SPACE





25 Ft

Back  
not to  
scale



Front +  
Not to  
C. 10