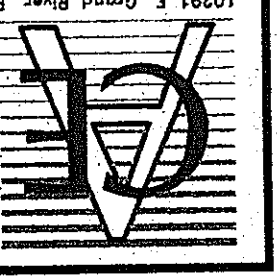


REVISIONS	DATE	BY	DESCRIPTION

OWNER/CLIENT
 MARY SEMKE
 4226 AUGUSTA
 HOWELL, MICHIGAN 48843
 810 262-1509

**HIDDEN PONDS
 SITE CONDOMINIUM
 COMPOSITE PLAN**

**ADVANTAGE
 CIVIL
 ENGINEERING**



DATE: 12-21-85
 DRAWN BY: TAH
 CHECKED BY: PCK
 JOB NO.: 95090
 DRAWING NO.:

2

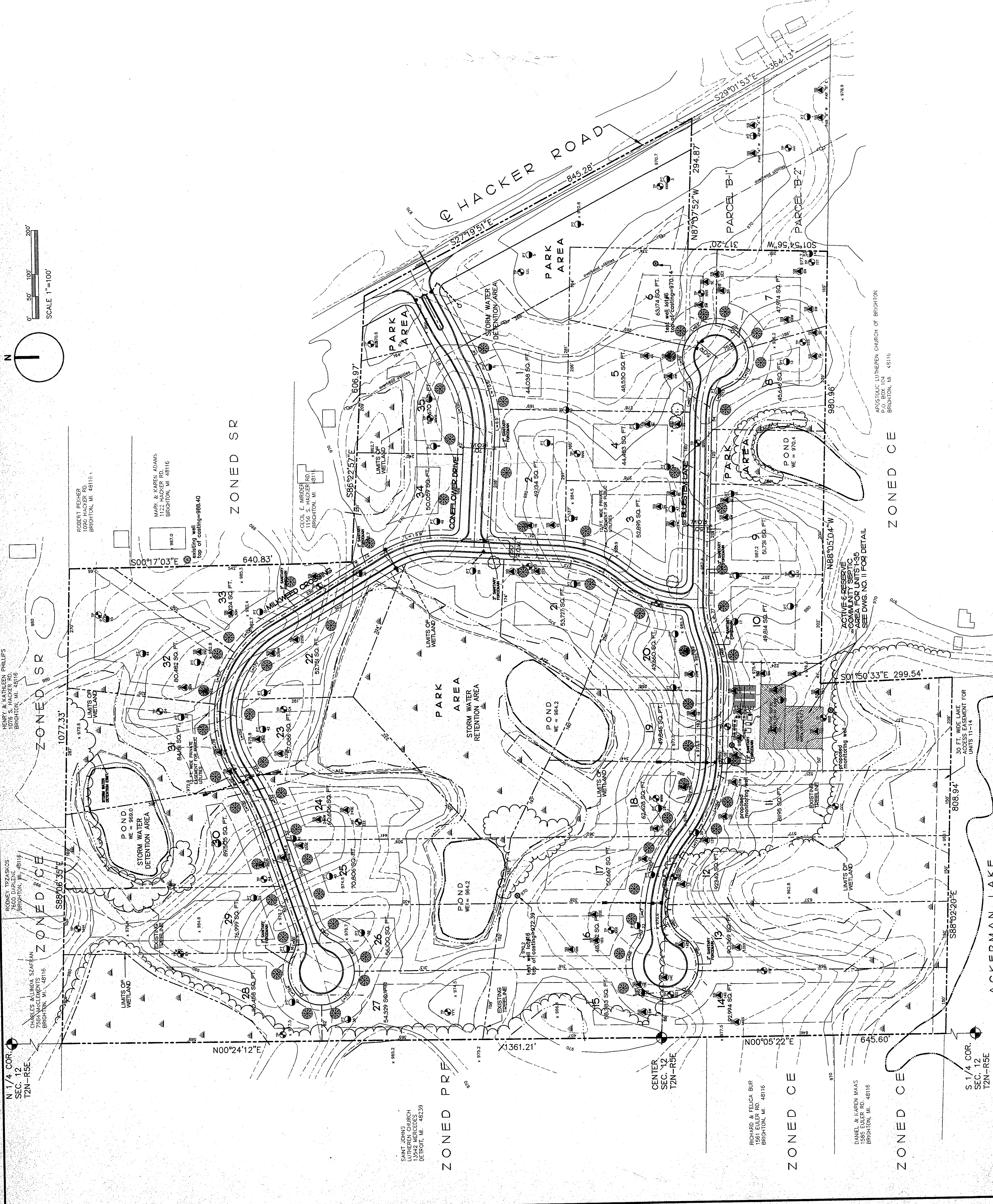
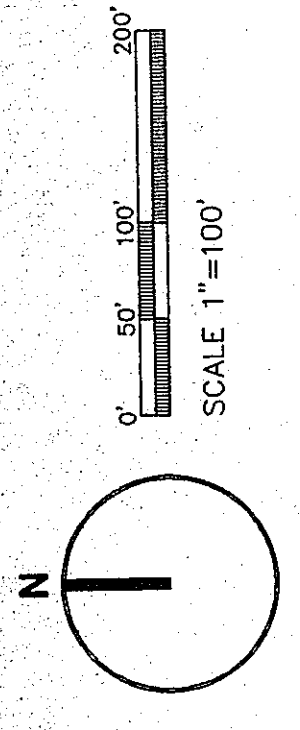
LEGEND

- DRAINAGE FLOW
- SIGNAL BOX
- LIGHT POLE
- SIGN
- UTILITY POLE
- TELEPHONE BOX
- TELEPHONE MARKER
- GAS MARKER
- CATCH BASIN
- MANHOLE
- VALVE & BOX
- HYDRANT
- SPOT ELEVATION
- MAJOR CONTOUR - 10 FT. INTERVAL
- MINOR CONTOUR - 2 FT. INTERVAL
- FENCE LINE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- DITCH CENTERLINE, TOE OF SLOPE
- PROPOSED SILT FENCE
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE & BRUSH LINE
- REQUIRED PLANTED TREE

NOTES:

1. ZONING OF SITE = LDR; ZONING RESTRICTIONS - MIN. UNIT AREA = 1 ACRE
2. ALL ROADS WITHIN THE DEVELOPMENT SHALL BE PRIVATE.
3. ALL UTILITIES TO BE SERVICED BY INDIVIDUAL WELLS AND COMMUNITY SEPTIC SYS.
4. TYPICAL BUILDING SETBACKS - FRONT = 50 FT.
 REAR = 60 FT.
 SIDE = 30 FT.
 WETLAND = 25 FT.
 OPEN WATER = 100 FT.
5. THIS PROJECT SHALL BE DEVELOPED IN ONE PHASE.
6. ALL UTILITIES SHALL BE UNDERGROUND
7. ALL ENCLOSED STORM DRAINAGE SHALL HAVE A 20" WIDE STORM EASEMENT.
8. ALL OPEN DRAINAGE SWALES SHALL HAVE A 30" WIDE STORM EASEMENT.
9. EASEMENTS FOR STORM WATER DETENTION WILL BE PROVIDED.
10. PERMANENT STONE SEDIMENTATION FILTERS TO BE PROVIDED BETWEEN ALL DRAINAGE DISCHARGE POINTS & WETLAND AREAS.
11. ALL STORM DRAINAGE STRUCTURES, PIPING & DETENTION FACILITIES SHALL BE UNDER THE JURISDICTION OF THE SITE CONDOMINIUM ASSOCIATION.
12. THE SITE CONDOMINIUM ASSOCIATION SHALL MAINTAIN ALL PRIVATE ROADWAY FACILITIES.
13. TWO CANOPY TREES TO BE PLANTED PER UNIT, WITHIN 20 FT. OF FRONT UNIT LINE. (TO BE OF SPECIES APPROVED BY GENOA TOWNSHIP)
14. ALL UNITS SHALL BE SERVED WITH ENVIRONMENT-1 CORP. GRINDER PUMPS IN ACCORDANCE WITH TWP. STANDARDS AND SPECIFIED WITHIN ADVANTAGE CIVIL ENGINEERING SUPPLEMENTAL SPECIFICATIONS.

- SOIL BORING LOCATIONS PROVIDED BY CLIENT SUPPLIED
- INFORMATION-SOIL LOGS BY BOSS ENGINEERING
- SOIL BORING LOGS AND LOCATIONS PER PROGRESSIVE AEP



APOSTOLIC LUTHERAN CHURCH OF BRIGHTON
 P.O. BOX 104
 BRIGHTON, MI 48116

ACTIVE RESERVE
 COMMUNITY SEPTIC
 AREA FOR UNITS 1-35
 SEE DWG. NO. 11 FOR DETAIL

ROONEY, TIZASOS
 1501 S. HAZEL RD.
 BRIGHTON, MI 48116

CHARLES & LINDA SZAFRAN
 1501 S. HAZEL RD.
 BRIGHTON, MI 48116

ROBERT PECHER
 1090 HACKER RD.
 BRIGHTON, MI 48116

MARY & KAREN ADAMS
 1155 S. HACKER RD.
 BRIGHTON, MI 48116

Existing wall
 top of casting=888.40

CSOL E. MROSE
 1155 S. HACKER RD.
 BRIGHTON, MI 48116

SAINT JOHN'S CHURCH
 1542 MERCEDES
 DETROIT, MI 48239

RICHARD & FELICA BUR
 1501 EULER RD.
 BRIGHTON, MI 48116

DANIEL & KAREN MAAS
 1501 EULER RD.
 BRIGHTON, MI 48116

30 FT. WIDE LAKE
 ACCESS EASEMENT FOR
 UNITS 11-14