

CHEMUNG HIGHLANDS

GENOA TOWNSHIP

LIVINGSTON COUNTY

SHEET INDEX

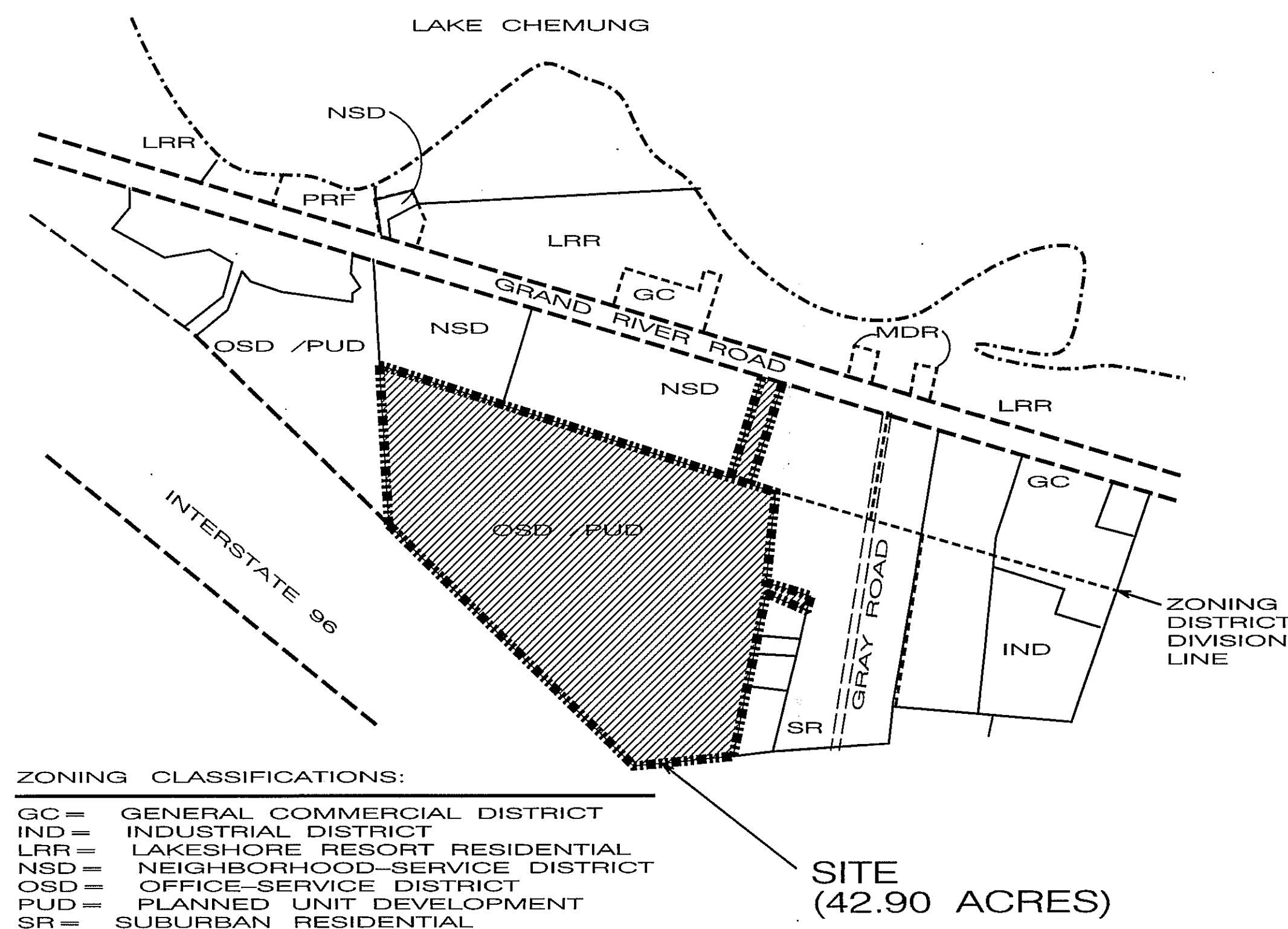
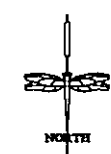
- TITLE SHEET
- 1 SITE INVENTORY AND ANALYSIS
- 2 SITE LAYOUT
- 3 CONCEPTUAL GRADING PLAN

PROJECT DATES

JULY 28, 1999	OPTIONAL PREAPPLICATION MEETING – PLANNING COMMISSION & STAFF
AUGUST 17, 1999	OPTIONAL CONCEPTUAL MEETING – PLANNING COMMISSION & STAFF
SEPTEMBER 1, 1999	APPLICATION FOR REZONING – PLANNING COMMISSION & TOWNSHIP BOARD
JANUARY 3, 2000	CONCEPTUAL SUBMISSION & APPLICATION FOR REZONING – PLANNING COMMISSION
JANUARY 27, 2000	REVISED CONCEPTUAL SUBMISSION & APPLICATION FOR REZONING – PLANNING COMMISSION

LOCATION MAP

NOT TO SCALE



LEGAL DESCRIPTION

PARCEL 11-10-300-003
 OWNER: RICKERT PROPERTIES, SUITE H
 5517 21ST AVENUE WEST
 BRADENTON, FL 34209

LEGAL DESCRIPTION PER CHARLES E. GARLOCK, R.L.S. 14762, MARCH 1, 1974

PART OF THE SOUTH 1/2 OF SECTION 10 T2N-R5E GENOA TOWNSHIP,
 LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

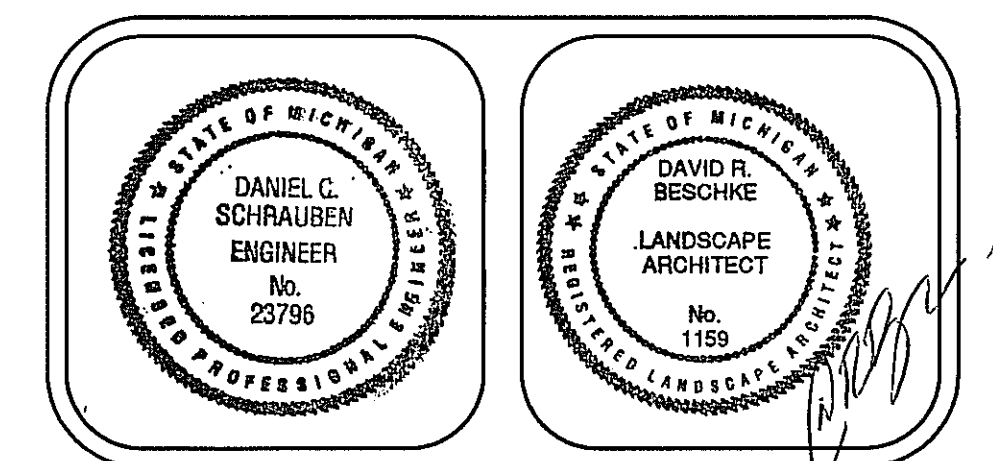
BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 10, RUNNING THENCE N84°29'30"E, 19.01 FEET ALONG THE SECTION LINE; THENCE N10°39'54"E, 878.64 FEET ALONG THE WESTERLY LINE OF "CHEMUNG ACRES NO. 1" IN PART; THENCE S71°58'48"E, 222.72 FEET; THENCE N08°55'54"E, 50.70 FEET; THENCE N71°28'06"W, 222.80 FEET; THENCE N01°39'54"E, 395.00 FEET; THENCE N70°40'00"W 1173.83 FEET ALONG THE SOUTHERLY LINE OF "CHEMUNG ACRES NO. 1", IN PART; THENCE N19°18'49"E, 135.05 FEET; THENCE N70°41'41"W, 646.14 FEET; THENCE S01°51'E, 792.22 FEET ALONG THE NORTH AND SOUTH 1/8 LINE OF THEN SOUTHWEST 1/4 OF SAID SECTION 10,, THENCE S42°27'05"E, 1693.67 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF EXPRESSWAY I-96; THENCE N88°04'40"E, 238.36 FEET TO THE BEGINNING, CONTAINING 42.90 ACRES MORE OR LESS. ALSO, THE WESTERLY 66 FEET OF LOT 11 OF "CHEMUNG ACRES NO. 1" RECORDED IN LIBER 7 OF PLATS ON PAGE 34.

OWNER

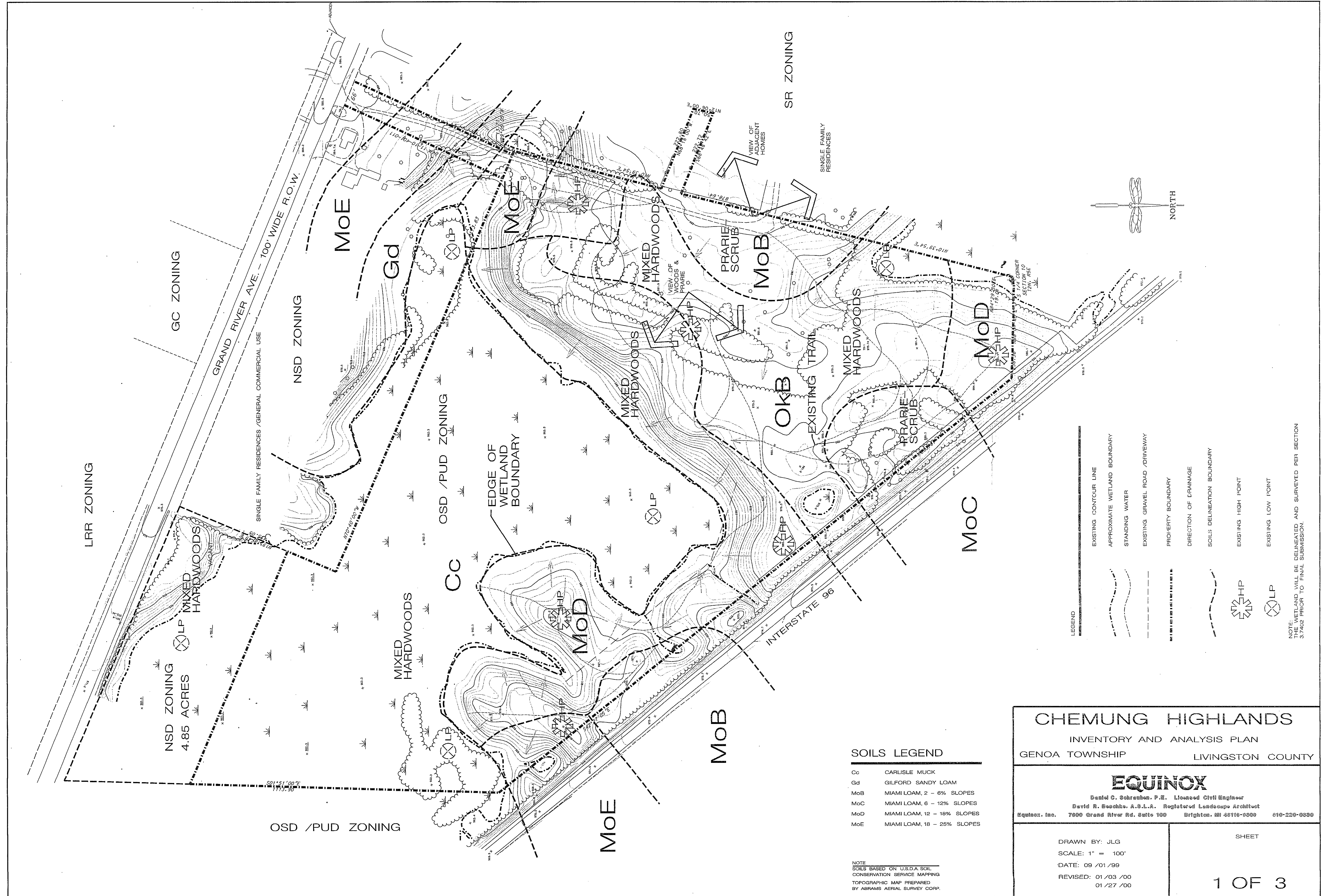
BROOKSIDE DEVELOPMENT
 5038 ASHTON COURT
 BRIGHTON, MICHIGAN 48116
 810.225.6172

DESIGNER

EQUINOX
 EQUINOX, INC.
 7600 GRAND RIVER
 SUITE 100
 BRIGHTON, MI 48116
 PHONE: 810.220.0330



PRELIMINARY -
 DO NOT USE FOR CONSTRUCTION



NSD ZONING
4.85 ACRES
MIXED HARDWOODS

GC ZONING

LRR ZONING

GRAND RIVER AVE. - 100' WIDE R.O.W.

SINGLE FAMILY RESIDENCES / GENERAL COMMERCIAL USE

OSD / PUD ZONING

MIXED HARDWOODS

CC

OSD / PUD ZONING

EDGE OF WETLAND BOUNDARY

MoD

MoE

MoB

INTERSTATE 96

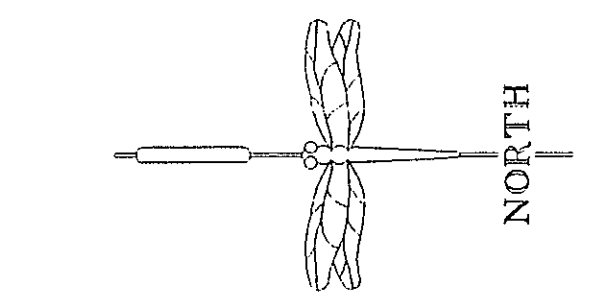
OKB

EXISTING TRAIL

SOILS LEGEND

Cc	CARLISLE MUCK
Gd	GILFORD SANDY LOAM
MoB	MIAMI LOAM, 2 - 6% SLOPES
MoC	MIAMI LOAM, 6 - 12% SLOPES
MoD	MIAMI LOAM, 12 - 18% SLOPES
MoE	MIAMI LOAM, 18 - 25% SLOPES

NOTE:
SOILS BASED ON U.S.D.A. SOIL
CONSERVATION SERVICE MAPPING
TOPOGRAPHIC MAP PREPARED
BY ABRAMS AERIAL SURVEY CORP.



LEGEND

	EXISTING CONTOUR LINE
	APPROXIMATE WETLAND BOUNDARY
	STANDING WATER
	EXISTING GRAVEL ROAD / DRIVEWAY
	PROPERTY BOUNDARY
	DIRECTION OF DRAINAGE
	SOILS DELINEATION BOUNDARY
	EXISTING HIGH POINT
	EXISTING LOW POINT

NOTE:
THE WETLAND WILL BE DELINEATED AND SURVEYED PER SECTION
3.7402 PRIOR TO FINAL SUBMISSION.

<p>CHEMUNG HIGHLANDS INVENTORY AND ANALYSIS PLAN GENOA TOWNSHIP LIVINGSTON COUNTY</p>	
<p>EQUINOX Daniel C. Schramm, P.E. Licensed Civil Engineer David R. Boehke, A.S.L.A. Registered Landscape Architect Equinox, Inc. 7800 Grand River Rd. Suite 100 Brighton, MI 48116-3300 616-220-0330</p>	
<p>DRAWN BY: JLG SCALE: 1" = 100' DATE: 09 / 01 / 99 REVISED: 01 / 03 / 00 01 / 27 / 00</p>	<p>SHEET</p> <p style="text-align: center; font-size: 24pt;">1 OF 3</p>



LEGEND

- EXISTING CENTERLINE
- PROPOSED HIGHWAY
- PROPOSED CENTERLINE OF ROAD
- - - PROPERTY BOUNDARY
- WETLAND BOUNDARY
- - - PROPOSED BUILDING SETBACK
- - - PROPOSED PEDESTRIAN TRAIL
- - - LIMITS OF CLEARING BOUNDARY
- - - EXISTING HILL LINE
- 15 PROPOSED UNIT NUMBER
- PROPOSED 12' WIDE UTILITY EASEMENT
- EXISTING SPOT ELEVATION

COMPARISON CHART

ITEM	REQUIRED	PROPOSED
CURRENT ZONING	OSD /PUD	RPUD
MASTERPLAN ZONING	SMALL LOT (2-4 UNITS /ACRE)	—
TOTAL SITE AREA	40 ACRES	42.90 ACRES
TOTAL WETLAND AREA	—	18.22 ACRES (42% OF TOTAL SITE)
TOTAL PROPOSED R.O.W.	—	3.17 ACRES
NO. OF UNITS	—	38
REQ. AREA PER UNIT	18,000 SQUARE FEET	18,000 SQUARE FEET
MIN. LOT WIDTH	90 FEET	* 70 FEET (UNITS 2,3,4,16 HAVE A MIN. FRONTAGE OF 80 FEET. UNITS 11,12,17, & 18 HAVE A MIN. FRONTAGE OF 70 FEET) SEE NOTE BELOW
MIN. FRONT SETBACK	35 FEET	* 25 FEET
MIN. SIDE SETBACK	10 FEET AND 15 FEET	10 FEET AND 15 FEET
MIN. REAR SETBACK	50 FEET	50 FEET (UNITS 27 AND 38 ARE 40 FEET)
MIN. WETLAND SETBACK	25 FEET	* 35 FEET
MIN. PARK SPACE	1500 SF PER UNIT (57,000 SF TOTAL)	5.48 ACRES (MORE THAN FOUR TIMES REQUIRED PARK SPACE)
ROAD R.O.W. (PRIVATE ROADS)	66 FEET	* 60 FEET
ROAD PAVEMENT	27 FEET	* 24 FEET
MAX. LENGTH OF PRIVATE ROAD	1200 FEET	* 1500 FEET (TOTAL LENGTH OF ALL ROADS IS 3002 LF)
SIDEWALK WIDTH	FIVE FEET	5 FEET

- *NOTES:**
- 1. FOR COMPARISON PURPOSES, DIMENSIONAL STANDARDS FROM THE UR (URBAN RESIDENTIAL) ZONING DISTRICT ARE LISTED UNDER THE "REQUIRED" COLUMN.
 - 2. ITEMS HIGHLIGHTED WITH A STAR INDICATE PROPOSED "PUD CONSIDERATIONS". (UNIT 25 IS ALSO A PROPOSED PUD CONSIDERATION BECAUSE MORE THAN 50% OF THE UNITS PERIMETER HAS FRONTAGE ALONG THE PROPOSED PRIVATE ROAD)

GENERAL SITE INFORMATION

- A. UTILITIES**
- PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND AND WITHIN THE DEDICATED EASEMENTS PER PLAN.
 - ALL UNITS TO BE SERVED BY PUBLIC SANITARY SEWER AND WATER SUBJECT TO THE AVAILABILITY OF CAPACITY IN GENOA TOWNSHIP. SERVICES SHALL BE FROM GRAND RIVER AVENUE.
- B. OPEN SPACE**
- OPEN SPACE TO REMAIN IN A NATURAL STATE. TREES WILL BE REMOVED FOR OPEN SPACE ACCESS AND UTILITIES.
- C. ROADS**
- PROPOSED PRIVATE ROADS SHALL BE MAINTAINED BY CONDOMINIUM ASSOCIATION.
- D. PHASING**
- THIS DEVELOPMENT IS PROPOSED TO BE DEVELOPED IN A SINGLE PHASE.
- E. ARCHITECTURAL DRAWINGS**
- ALL PROPOSED BUILDING SITES ARE FOR SALE TO INDIVIDUALS OR BUILDERS, THEREFORE PLANS ARE NOT AVAILABLE. THE MASTER DEED AND DRAWINGS SPECIFY THE QUALITY, SIZE AND TYPE OF STRUCTURES PERMITTED.
- F. LANDSCAPING**
- TWO CANOPY TREES PER UNIT WITH THREE CANOPY TREES ON CORNER LOTS SHALL BE PROVIDED.
 - STREET TREES WILL BE PROVIDED WITHIN THE BOULEVARD ALONG THE ENTRANCE DRIVE.
 - EXISTING VEGETATION TO BE PRESERVED IS INDICATED BY THE LIMITS OF CLEARING LINE ON THE PLAN.
 - TREES OVER 8" CALIPER WITHIN THE REAR SETBACK OF 1-56 SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
 - EXISTING VEGETATION WITHIN 25' OF THE WETLAND BOUNDARY SHALL BE PRESERVED AND PROTECTED WITH SILT FENCING.
 - EXISTING VEGETATION IN THE AREA TO BE DISTURBED IS SCRUB GROWTH VOLUNTEER AND YOUNG SOFTWOOD CANOPY TREES, I.E. ELM, WILLOW, COTTONWOOD, BOXWOOD, ETC. PROPOSED STREET TREES (MINIMUM 94 TREES), SHALL BE HEALTHY HARDWOODS, MINIMUM 2.5" CALIPER.
- G. OTHER**
- MDEQ WETLAND PERMIT WILL BE REQUIRED FOR CONSTRUCTION ACTIVITY WITHIN A REGULATED WETLAND. NO CONSTRUCTION WITHIN THE WETLANDS IS PROPOSED.
 - NO GRADING FOR HOME CONSTRUCTION SHALL TAKE PLACE WITHIN 25 FEET OF THE EXISTING WETLAND BOUNDARY.

CHEMUNG HIGHLANDS

LAYOUT PLAN
GENOA TOWNSHIP LIVINGSTON COUNTY

EQUINOX

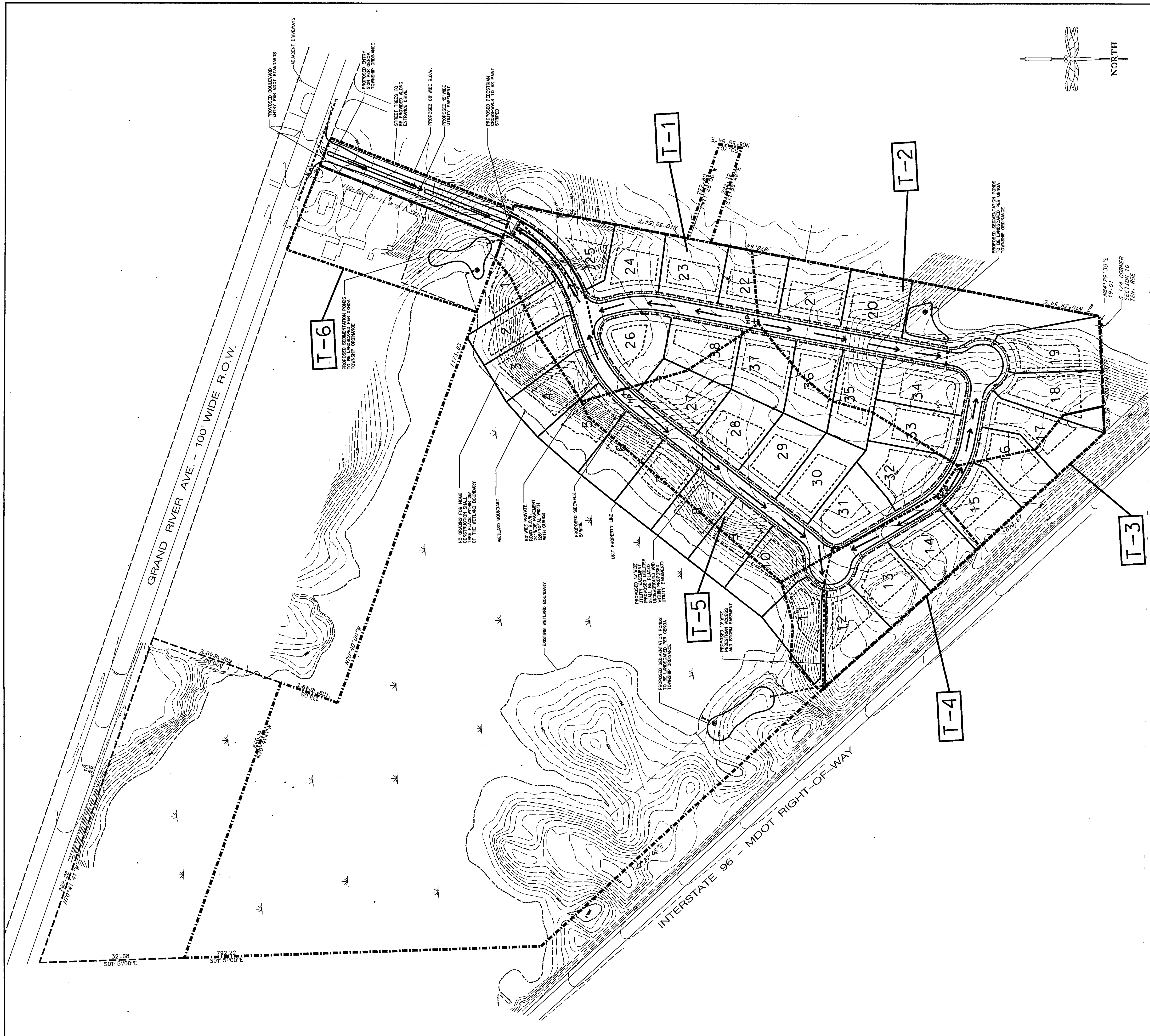
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Equinox, Inc. 7900 Grand River Rd. Suite 100 Brighton, MI 48116-0900 810-220-0380

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SHEET
2 OF 3

OSD /PUD ZONING



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED RIGHT OF WAY
 - PROPOSED ROAD
 - PROPOSED CENTERLINE OF ROAD
 - PROPERTY BOUNDARY
 - WETLAND BOUNDARY
 - PROPOSED BUILDING SETBACK
 - PROPOSED PEDESTRIAN TRAIL
 - LIMITS OF CLEARING BOUNDARY
 - EXISTING TREE LINE
 - 15** PROPOSED UNIT NUMBER
 - PROPOSED 12' WIDE UTILITY EASEMENT
 - EXISTING SPOT ELEVATION
 - PROPOSED DRAINAGE FLOW
 - T-2** DRAINAGE TRIBUTARY AREA
 - PROPOSED CATCH BASIN
 - PROPOSED MANHOLE
 - PROPOSED OUTLET FILTER
 - PROPOSED FLARED END
 - PROPOSED STORM

NOTE: TRIBUTARY AREAS AND SEDIMENTATION POND CALCULATIONS WILL BE PROVIDED WITH FINAL SUBMISSION

CHEMUNG HIGHLANDS
 CONCEPTUAL GRADING PLAN
 GENOA TOWNSHIP LIVINGSTON COUNTY

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