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RECORDED ON
11/06/2020 01:56:29 PM
BRANDON DENBY
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI 48843
RECORDING: 26.00
REMON: 4.00
PAGES: 38

**TOWNSHIP OF GENOA
PLANNED INDUSTRIAL DISTRICT AGREEMENT
FOR
BIRKENSTOCK SELF-STORAGE**

THIS AGREEMENT is made as of the 27 day of October, 2020, by and between the Genoa Charter Township, Livingston County, Michigan, (hereinafter called the "Township"), the offices of which are located at 2911 Dorr Road, Brighton, Michigan 48116 and Birkenstock Self-Storage, LLC, a Michigan limited liability company (hereinafter referred to as "Developer"), the address of which is 2528 Harte Drive, Brighton, Michigan 48114.

WITNESSETH:

WHEREAS, Developer is the owner and developer of certain land located in the Township of Genoa, County of Livingston, State of Michigan, more particularly described on Exhibit A hereto and incorporated herein by reference (sometimes hereinafter referred to as the "Property"); and

WHEREAS, Developer desires to develop the Property as a climate controlled storage facility and sales office under a comprehensive development plan as a planned industrial district ("PID" or "Planned Industrial District") to be known as "Birkenstock Self-Storage"; and

WHEREAS, the Township's Planning Commission, after giving proper notice, held a public hearing on March 11, 2019, at which Developer's Application for a PID ("Application"), Conceptual PID Site Plan, Impact Statement and this PID Agreement was considered, comments and recommendations of the public were heard, and the Planning Commission recommendations were made to the Township Board; and

WHEREAS, on May 6, 2019, the Township Board reviewed and conditionally approved the Application, Conceptual PID Site Plan, Impact Statement and this PID Agreement; and

WHEREAS, on October 1, 2019, Developer submitted to the Planning Commission an Application for Final Approval of the PID ("Final Application"), pursuant to the provisions of Article 10 of the Township's Zoning Ordinance ("Zoning Ordinance") and

WHEREAS, the Planning Commission, after giving proper notice, held a public hearing on November 12, 2019, as required by P.A. 184 of 1983, as amended, at which the Final

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Application was considered, comments and recommendations of the public were heard, and recommendations were made by the Planning Commission to the Township Board concerning the Final Application; and

WHEREAS, the uses permitted within a PID include uses permitted in the Industrial and Office-Service Districts, including a climate controlled storage facility and sales office and other uses as set forth herein; and

WHEREAS, the Township Planning Commission and the Township Board have reviewed the Final Site Development Plan, attached hereto as Exhibit B, and have approved the Final Site Development plan as to: (1) total acreage under consideration for the Planned Industrial District; (2) the general location and acreage therein for the proposed use in the specified zoning district (being climate controlled storage facility and sales office); and (3) the general site layout and infrastructure improvements; and

WHEREAS, the approved Final Site Development Plan for the PID is consistent with the purposes and objectives of the Township; and further, is consistent with the Township's Zoning Ordinance pertaining to permitted land uses, the intensity of such uses, site access and storm water management; and

WHEREAS, Developer has made its application for final approval of the PID to the Township Board pursuant to and in accordance with the provisions of Article 10 of the Township's zoning ordinance; and

WHEREAS, at a regular public meeting of the Township Board on November 18, 2019, the Township Board approved the Final Application submitted by the Developer and rezoned the property to a PID Zoning District; and

WHEREAS, the Township's Zoning Ordinance requires the execution of a Planned Industrial District Agreement in connection with the approval of a PID which Agreement shall be binding on the Township and the Developer;

NOW, THEREFORE, the Developer and the Township, in consideration of the mutual covenants of the parties described herein, and with the express understanding that this Agreement (sometimes hereinafter and in other documents related to the proposed development as the "PID Agreement") contains important and essential terms as part of Final Approval of the Final Application, agree as follows:

I. GENERAL TERMS OF AGREEMENT

A. Township and Developer acknowledge and represent that the foregoing recitals are true and accurate and binding on the respective parties.

B. Township acknowledges and represents that the Property has been rezoned to a PID Zoning District. In addition to the approval of the PID rezoning and the approval of the proposed use of the Property herein as a climate controlled storage facility with sales office, alternative uses of the Property that shall be allowed either as a permissible use or special land use are

identified in and limited to those listed in Exhibit C attached hereto.

C. The PID shown and described in Exhibit A (legal description of the PID Site) and the Final Site Development Plan referenced herein as Exhibit B (and specifically captioned as "Construction Drawings for Birkenstock Self-Storage" consisting of Sheets C.000 through C.900, both inclusive, and MHOG Water and Sanitary Sewer Standard Details Sheets) is hereby approved in accordance with the authority granted to and vested in the Township under and pursuant to Act 110 of 2006, being the Michigan Zoning Enabling Act, MCL 125.3101, et seq., and Act 33 of 2008, being the Michigan Planning Act, MCL 125.3801, et seq.; and in accordance with the Zoning Ordinance of Genoa Charter Township, enacted October 7, 1991, as amended, except as modified herein; subject to the terms of this Agreement and in compliance with Exhibit B, and all provisions of the Township Zoning Ordinance pertaining thereto (collectively referred to herein as the "Applicable Regulations"), according to the terms thereof as of the date of approval of the PID.

D. The Approved Plan for the PID ("Approved Plan") includes Exhibit A and Exhibit B. The Approved Plan was formulated by the Developer and approved by the Township based upon the material terms of the Impact Statement and Application materials, which were presented to the Township by the Developer.

E. The Developer and the Township acknowledge that the Approved Plan takes precedence over the terms of the foregoing documents.

F. Developer and Township acknowledge and agree that rezoning to PID of the Property described in Exhibit A constitutes approval of Exhibit B as it sets forth the general configuration of permitted land uses. Site plan review for the PID described in Exhibits A and B are not subject to any subsequent enactments or amendments to the Zoning ordinance or the Applicable Regulations and will be reviewed and approved in light of this Agreement including Exhibit B hereto, the Zoning Ordinance and Applicable Regulations as they exist at the date of this Agreement. Developer shall comply with the Zoning Ordinance, as modified herein and as may be otherwise required, with respect to any site plan approved by Township at Developer's request. Any subsequent zoning action by the Township shall be in accordance with applicable constitutional law, the Michigan Zoning Enabling Act and the Zoning Ordinance.

G. The approval of the PID described herein and in Exhibit B, as well as in Exhibit C Table of Alternative Uses, and the terms, provisions and conditions of this Agreement are and shall be deemed to be of benefit to the Property described on Exhibit A and shall run with and bind such Property and shall bind and inure to the benefit of the parties hereto and their successors and assigns.

II. SPECIFIC TERMS OF AGREEMENT REGARDING LAND USE AND LAND DEVELOPMENT

A. The land use and development permitted hereunder shall be consistent with Article 10 of the Genoa Township Zoning Ordinance, and Section 10.03.02 specifically, except as otherwise modified and approved herein.

B. Developer represents that it intends to develop the parcel of Property identified in the Final Site Development Plan as a climate controlled storage facility with sales office. The Final Site Development Plan (Exhibit B), including the exterior design, shall be constructed in a manner consistent with a commercial sales office, using a flat roof design, high quality building materials, commercial window patterns and site improvements consistent with the surrounding uses and aesthetic features both on and off site. A 20' landscape buffer, with existing trees, will be installed to screen the existing MHP – Manufactured Housing District use on the east, west and south sides of the property.

C. Developer shall be permitted to deviate from the specific requirements set forth in Article 8, Industrial District, concerning Schedule of Area and Bulk Requirements, and the Township hereby approves a variance from the two-acre minimum lot area requirement set forth in Sec. 10.03.02(b) for Parcel 2 as shown on the Parcel Split Plan Sheet C.305 as part of Exhibit B attached hereto. Developer shall also be permitted to deviate from the minimum easement width requirement for the private road and the Township hereby approves the thirty (30') feet wide private road easement as shown on the Parcel Split Plan Sheet C.305 as part of Exhibit B attached hereto. Developer shall also be permitted to deviate from the monument sign height limitation set forth in Article 16, Sign Standards, Table 16.1, and the Township hereby approves a maximum height of eight (8) feet for the monument sign due to the consistency with other signs along Grand River Avenue and the existence of multiple businesses on the site that are located a significant distance from Grand River. Developer shall also be permitted to deviate from the specific requirements set forth in Article 12, Site Development Regulations, concerning Industrial District (IND) Exterior Building Wall Materials, and the Township hereby approves a variance from Sec. 12.01.03 for the minimum exterior building material percentage of brick on walls exposed to a public street and adjacent residential areas, which shall be consistent with the brick, metal siding, composite siding and metal canopy percentages set forth in the Front Side Elevation (North), Left Side Elevation (East), Rear Elevation (South), and Right Side Elevation (West) set forth in the submitted Architectural Design Package, Sheet 3 of 4, of the Final Site Development Plan as prepared by Fusco, Shaffer & Pappas, Inc.

D. In accordance with Article 10 of the Genoa Township Zoning Ordinance, the Genoa Township Planning Commission on March 11, 2019 has determined that the proposed PID, as presented, may provide community benefits, including but not limited to, a means of secondary access to the adjacent Community Bible Church property and a safe route of pedestrian travel from the adjacent manufactured housing community to the designated public school bus stop at Grand River.

E. The storm water retention/detention system for the PUD shall meet the requirements of the Livingston County Drain Commissioner and all applicable laws and regulations.

F. All utilities required in connection with the development of Birkenstock Self-Storage shall be installed underground.

III. MISCELLANEOUS TERMS OF THIS AGREEMENT

A. Any violation of the terms of this Agreement shall be a violation of the Zoning Ordinance. The remedies of Township for a violation shall be such remedies as are provided by State and

EXHIBIT A

Exhibit A

LEGAL DESCRIPTION

Part of the W. 1/2 of Section 13, T.2N., R.5E., Genoa Township, Livingston County, Michigan, being described as: Beginning at a point distant S. 89°59'51" E., 1865.22 feet along the East-West 1/4n line of said Section 13, from the W. 1/4 corner of said Section 13; thence N. 01° 20' 04" W., 209.26 feet; thence S. 68° 25' 58"E., 145.05 feet; thence N. 01° 23' 01" W., 430.25 feet; thence S. 69° 16' 02" E., 71.45 feet; thence S. 01° 14' 16" E., 431.10 feet; thence S. 69° 01' 58" E., 54.11 feet; thence S. 01° 19' 37" E., 50.00 feet; thence N. 88° 43' 02" E., 200.00 feet; thence S. 01° 18' 00" E., 804.87 feet; thence S. 25° 29' 42" W., 128.47 feet; thence S. 88° 58' 44" W., 390.33 feet; thence N. 01° 20' 04" W., 862.97 feet to the point of beginning. Containing 462,435 square feet or 10.616 acres, and subject to easements of record, if any.

Parcel Number: 4711-13-300-009



ENGINEERS

NOWAK & FRAUS ENGINEERS

46777 WOODWARD AVE.

PONTIAC, MI 48342-5032

TEL. (248) 332-7931

FAX. (248) 332-8257

SCALE	DATE	DRAWN	JOB NO.	SHEET
	09-02-2020	NN	K362	1 of 1

EXHIBIT B

Tree List

Tree ID	Botanical Name	Common Name	Oak	Height	Trunk	DBH	Condition	Notes
171	Pinus strobus	White Pine	10	10	4	Good		
172	Pinus strobus	White Pine	10	10	4	Good		
173	Pinus strobus	White Pine	10	10	4	Good		
174	Pinus strobus	White Pine	10	10	4	Good		
175	Pinus strobus	White Pine	10	10	4	Good		
176	Pinus strobus	White Pine	10	10	4	Good		
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298	Pinus strobus	White Pine	10	10	4	Good		



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & TRAVIS ENGINEERS
4677 WOODWARD AVE
PONTIAC, MI 48345-5033
PHONE: (313) 486-1100
FAX: (313) 486-1027



PROJECT
Birkenhead Office Center
3324 Harte Drive
Brighton, Michigan

CLIENT
Birkenhead Enterprises, LLC
3324 Harte Drive
Brighton, MI 48114
Contact: James Harte
Phone: (810) 992-7144
Fax: (734) 698-5067

DATE OF SURVEY
Part of the W. 1/2
of Section 13
T. 2N., R. 3E.
Genoa Township,
Livingston County, Michigan

NOTE
Boundary / Topographic /
Tree Survey



800 CALL NOW
Call Now
800-368-6868

DATE
N. Nizam
K. Nizam
04-05-2010
SCALE

DATE
N. Nizam
K. Nizam
04-05-2010
SCALE

DATE
N. Nizam
K. Nizam
04-05-2010
SCALE



CNF
ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

HOWARD E. TRAVIS ENGINEERS
 4677 WOODWARD AVE
 PONTIAC, MI 48346-5632
 TEL: (248) 332-8577
 FAX: (248) 332-8577



PROJECT:
 Birkenstock Office Center
 2524 Hero Drive
 Brighton, Michigan

CLIENT:
 Birchwood Enterprises, LLC
 2524 Hero Drive
 Brighton, MI 48114

Contact: James Hare
 Phone: (616) 999-7144
 Fax: (248) 332-8577

SECTION LOCATION:
 Part of Sec. W. 1/2
 of Section 13
 T. 2N., R. 3E.
 Genoa Township,
 Livingston County, Michigan

SHEET:
 Boundary / Topographic /
 Aerial Overlay



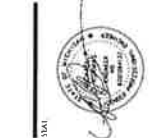
DATE: DATED/REVISED
 11-29-18 / 08-06-2019
 04-05-2019
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 04-05-2019

DRAWN BY:
 N. Nassim

APPROVED BY:
 K. Hayward
 04-05-2019

SCALE: 1" = 50'
SHEET NO: K362
SHEET NO: C-004





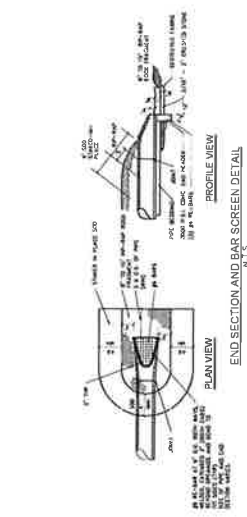
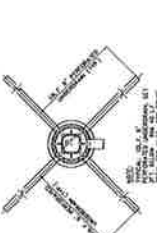
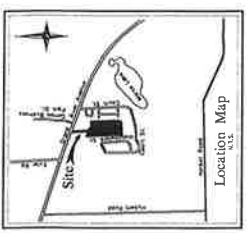
PROJECT:
 Birkensack Office Center
 254 Harte Drive
 Brighton, Michigan

CLIENT:
 Birkensack Enterprises, LLC
 2536 Harte Drive
 Brighton, MI 48114

CONTACT:
 James Harte
 Phone: (616) 999-2154
 Fax: (248) 585-5867

PROJECT LOCATION:
 Part of the W. 1/2
 of Section 13
 T. 2N., R. 2E.
 Genoa Township,
 Livingston County, Michigan

DATE: 10/18/2019
 DRAWN BY: M. KURMAN
 CHECKED BY: M. KURMAN
 PROJECT NO: 19-002
 SHEET NO: C.202



SANITARY SEWER/WATER MAIN BASIS OF DESIGN
 Sanitary Sewer Storage Tank
 Date: 3-4-2020
 Revised:
 Sanitary Sewer Storage Tank
 0.1 REU per Acre
 12 Lines @ 0.12 REU per Acre = 1.44 REU
 Total:
 1 unit storage building with no losses total = 1.44 Total REU
 3.5 Persons per REU @ Total REU = 5.04 Persons Total
 AVE CO = 1000 GPD * 1.5 Discharge * Total REU = 0.0025 mgpd
 15000000
 Peaking = 1.5 * Ave of Person (1000) * 2.50 = 4.44
 Factor = 4 * (Peaking Factor) / 10.50
 PEAKO = Ave Flow * Peaking Factor = 0.0022 mgpd
 = 0.0035 cfs
 SIZE OF SANITARY SEWER PIPE CAPACITY
 1000 GPD @ 1.5 Discharge * Total REU = 1500000
 WPCB No. 1000 (1000 GPD) @ 1.5 Discharge * Total REU = 1500000
 WPCB No. 1000 (1000 GPD) @ 1.5 Discharge * Total REU = 1500000

BIRKENSTOCK RETENTION CALCULATIONS

AREA (ACRES)	IMPervIOUS FRACTION	RAIN INTENSITIES
6.15	0.54	1.00
0.90	0.54	1.00
5.25	0.54	1.00
WATER SURFACE	0.00	0.60
1.00	1.00	10.61

REQUIRED RETENTION VOLUME PER ACRE (INCHES) = 1.00 INCHES OVER ENTIRE SITE
 0.1666 FT. @ 1.00 AC. = 0.1666 FT. / AC.

Area	Impervious	Area	Impervious	Area	Impervious
Area A	0.15	0.15	0.15	0.15	0.15
Area B	0.15	0.15	0.15	0.15	0.15
Area C	0.15	0.15	0.15	0.15	0.15
Area D	0.15	0.15	0.15	0.15	0.15
Area E	0.15	0.15	0.15	0.15	0.15
Area F	0.15	0.15	0.15	0.15	0.15
Area G	0.15	0.15	0.15	0.15	0.15
Area H	0.15	0.15	0.15	0.15	0.15
Area I	0.15	0.15	0.15	0.15	0.15
Area J	0.15	0.15	0.15	0.15	0.15
Area K	0.15	0.15	0.15	0.15	0.15
Area L	0.15	0.15	0.15	0.15	0.15
Area M	0.15	0.15	0.15	0.15	0.15
Area N	0.15	0.15	0.15	0.15	0.15
Area O	0.15	0.15	0.15	0.15	0.15
Area P	0.15	0.15	0.15	0.15	0.15
Area Q	0.15	0.15	0.15	0.15	0.15
Area R	0.15	0.15	0.15	0.15	0.15
Area S	0.15	0.15	0.15	0.15	0.15
Area T	0.15	0.15	0.15	0.15	0.15
Area U	0.15	0.15	0.15	0.15	0.15
Area V	0.15	0.15	0.15	0.15	0.15
Area W	0.15	0.15	0.15	0.15	0.15
Area X	0.15	0.15	0.15	0.15	0.15
Area Y	0.15	0.15	0.15	0.15	0.15
Area Z	0.15	0.15	0.15	0.15	0.15

STORAGE PROVIDED WITH 1 FEET OF FREESPACE @ ELEV. 983.40
 167,296 CUBIC FEET OF STORAGE = 4.85 INCHES OF RAINFALL OVER ENTIRE SITE
 STORAGE PROVIDED @ ELEV. 986.10 (4 FEET BELOW FREESPACE) = 3.18 INCHES OVER ENTIRE SITE

STORAGE PROVIDED WITH 1 FEET OF FREESPACE @ ELEV. 983.40
 167,296 CUBIC FEET OF STORAGE = 4.85 INCHES OF RAINFALL OVER ENTIRE SITE
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STORAGE PROVIDED WITH 1 FEET OF FREESPACE @ ELEV. 983.40
 167,296 CUBIC FEET OF STORAGE = 4.85 INCHES OF RAINFALL OVER ENTIRE SITE
 STORAGE PROVIDED @ ELEV. 986.10 (4 FEET BELOW FREESPACE) = 3.18 INCHES OVER ENTIRE SITE

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 STORAGE PROVIDED @ ELEV. 986.10 (4 FEET BELOW FREESPACE) = 3.18 INCHES OVER ENTIRE SITE



PROJECT
 Birkenshoek Office Center
 2524 Haric Drive
 Brighton, Michigan

CLIENT
 Birkenshoek Enterprises, LLC
 2529 Haric Drive
 Brighton, MI 48114

CONTACT
 James Haric
 Phone: (616) 496-7144
 Fax: (734) 378-5667

PROJECT LOCATION
 Part of the W. 1/2
 of Section 13
 T. 2N., R. 9E.
 Grand Township,
 Livingston County, Michigan

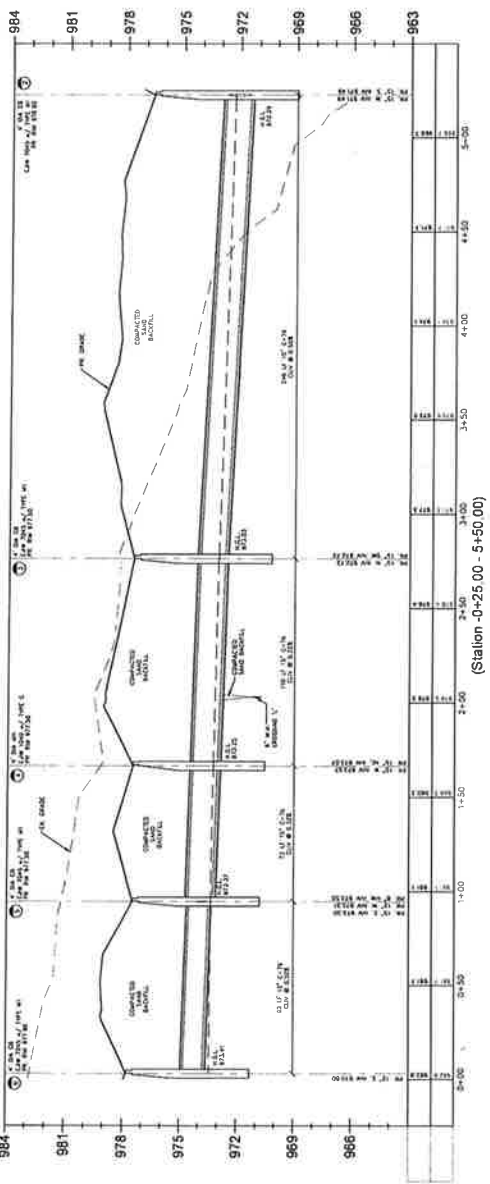
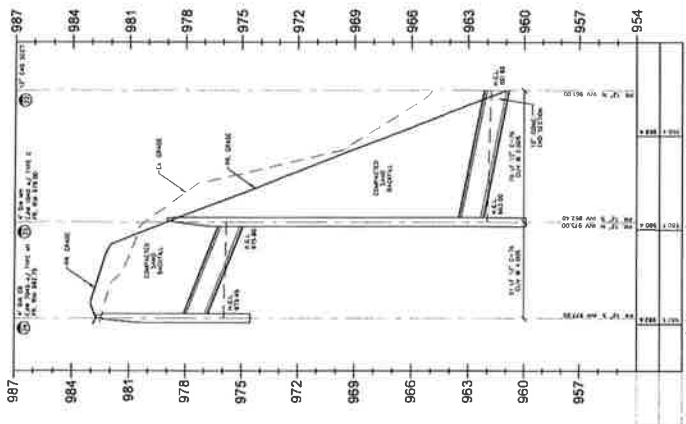
SHEET
 Profile Plan 1



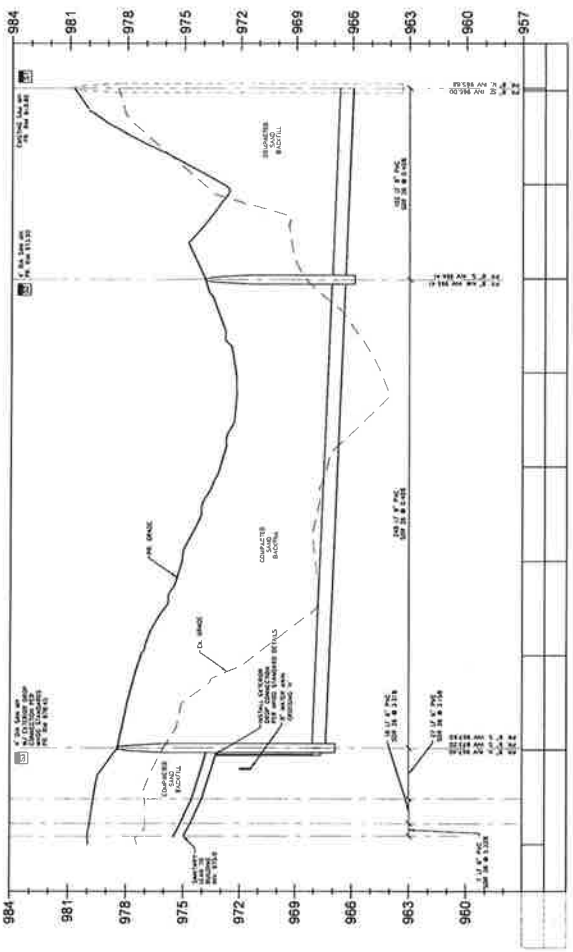
DATE 11/15/2019
BY J. Haric
CHECKED BY M. Kormanus
APPROVED BY M. Peterson
 04/05/2019

SCALE 1" = 30' / 1" = 5'
 1" = 30' / 1" = 5'

PROJECT NO. K362
SHEET NO. C.231



SANITARY SEWER PROFILE



(Station -0+25.00 - 4+25.00)



PROJECT:
 Birkensack Office Center
 254 Harte Drive
 Brighton, Michigan

CLIENT:
 Birkensack Enterprises, LLC
 254 Harte Drive
 Brighton, MI 48114

Contact: James Harte
 Phone: (810) 499-7144
 Fax: (734) 978-5667

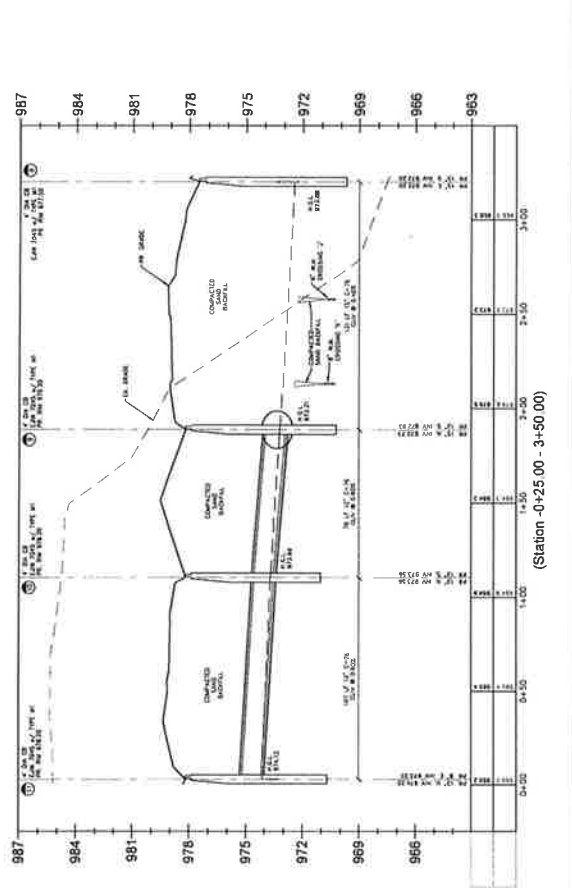
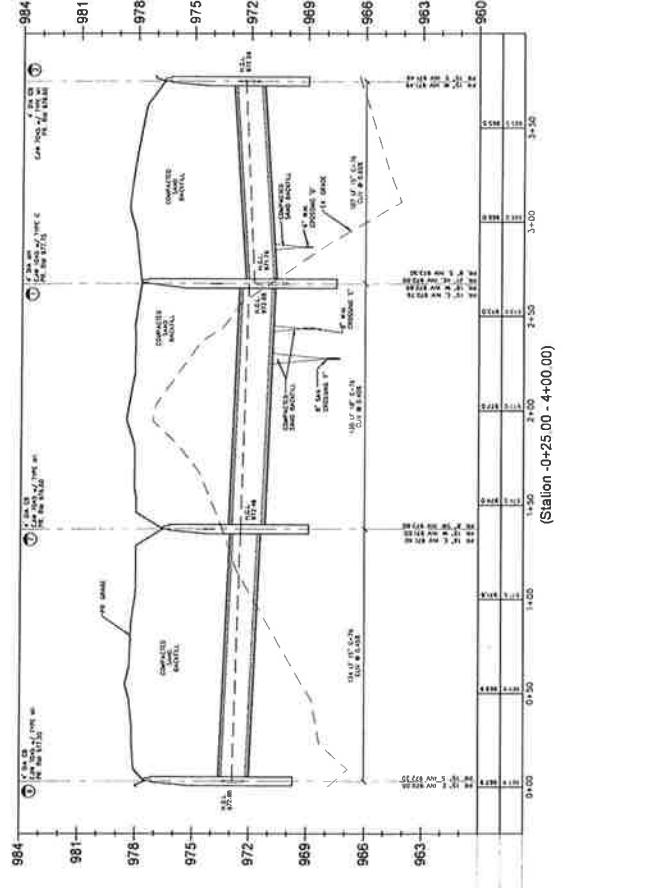
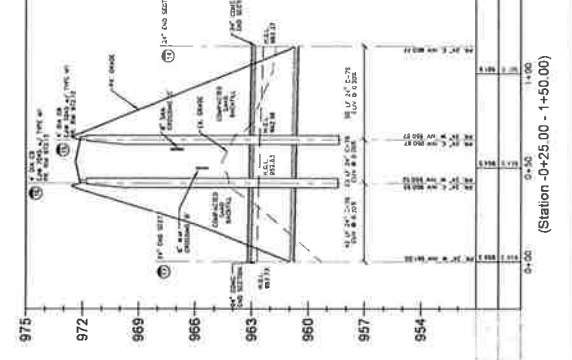
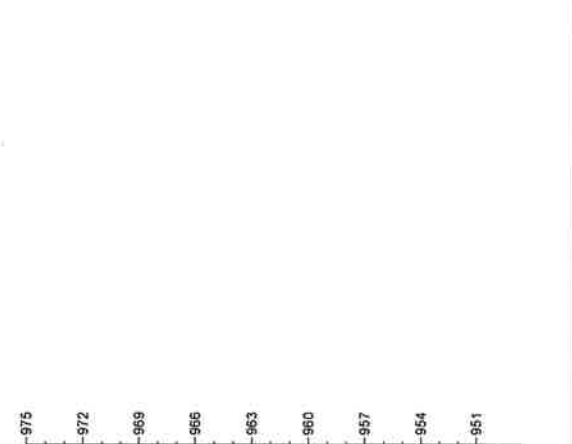
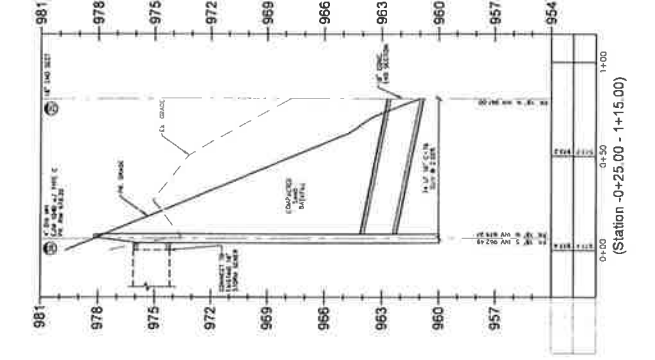
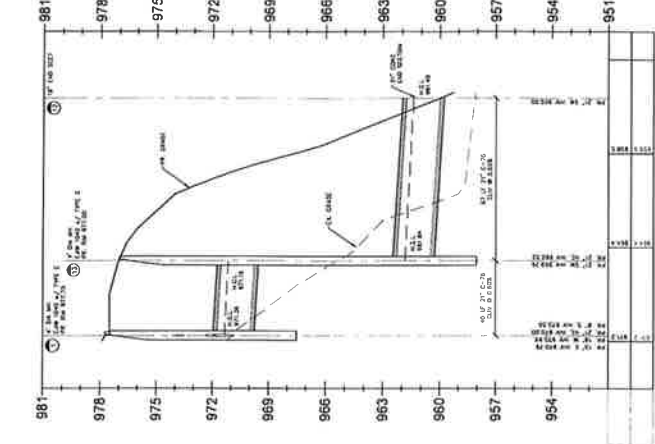
PROJECT LOCATION:
 Parcel 146, 147
 of Section 13
 T. 2N., R. 5E.
 Genoa Township,
 Livingston County, Michigan

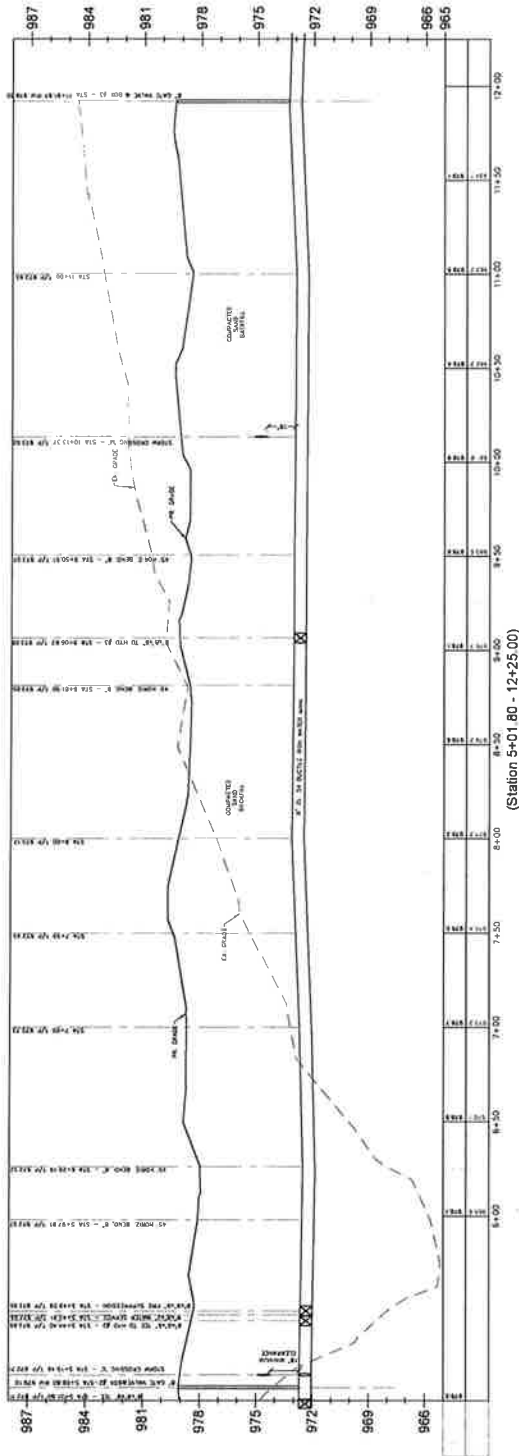
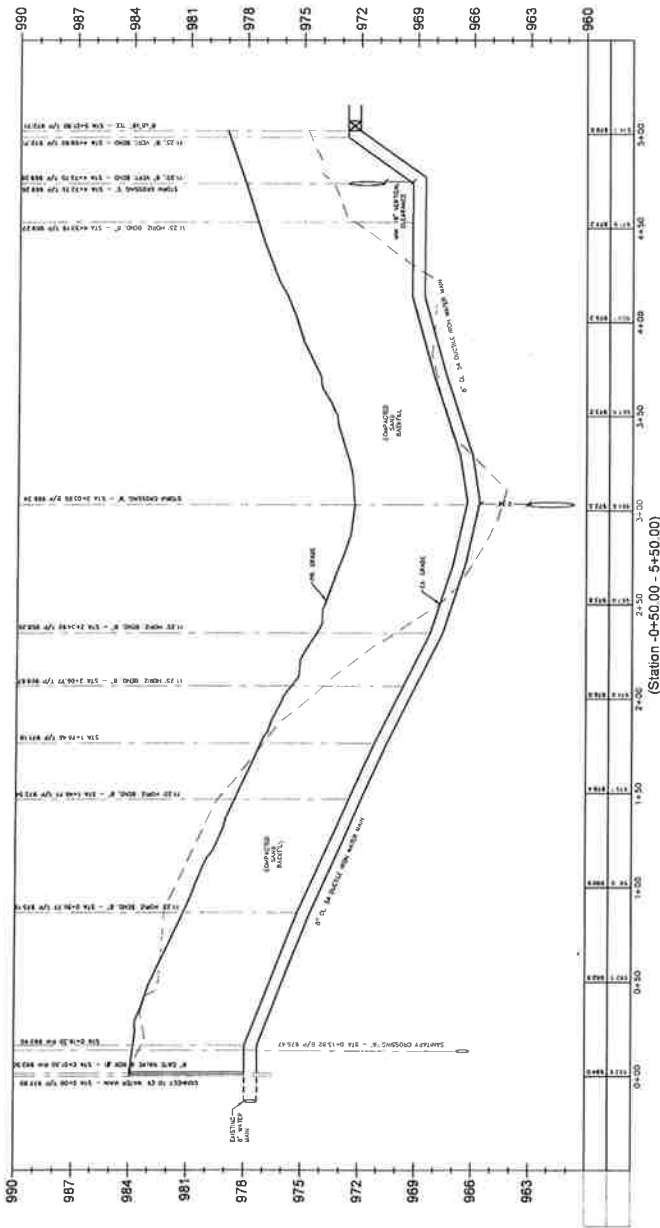
SHEET:
 Profile Plan 2



DATE: 04/25/2019
BY: A. Paddy
CHECKED BY: M. Kuzman
APPROVED BY: S. Peterson
 04/25/2019

SCALE: 1" = 30' (1" = 3')
SHEET NO.: C.232
DATE: 04/25/2019





(Station 5+01.80 - 12+25.00)



PROJECT
 Birkensack Office Center
 2524 Harco Drive
 Brighton, Michigan

CLIENT
 Birkensack Enterprises, LLC
 2524 Harco Drive
 Brighton, MI 48114

Contact: James Haric
 Phone: (810) 699-7144
 Fax: (734) 679-5667

PROJECT LOCATION
 Parcel 16b, W. 1/2
 of Section 13
 T. 2N., R. 3E.
 Genoa Township,
 Livingston County, Michigan

SHEET
 Soil Erosion Control /
 Drainage Area Plan 1



DATE 03/16/2016
 1-2016 (2) 2016
 2-2016 (1) 2016
 3-2016 (1) 2016
 4-2016 (1) 2016
 5-2016 (1) 2016
 6-2016 (1) 2016
 7-2016 (1) 2016
 8-2016 (1) 2016
 9-2016 (1) 2016
 10-2016 (1) 2016
 11-2016 (1) 2016
 12-2016 (1) 2016

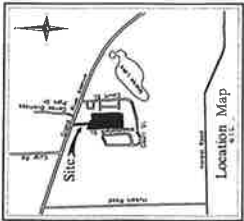
DESIGNED BY
 M. Kurmas

APPROVED BY
 M. Kurmas

DATE
 04-05-2016

SCALE 1" = 40'

SHEET NO C-301
INFO NO K362



SEE SHEET C-200 FOR RUNOFF
 COEFFICIENT CALC.
 SEE S.E.C. PLAN 2
 SHEET C-302

NOTES

1. THIS PLAN SHOWS THE PROPOSED SOIL EROSION CONTROL AND DRAINAGE SYSTEM FOR THE PROJECT. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

2. THE PROPOSED SYSTEM IS BASED ON A DESIGN RAINFALL RATE OF 3.0 INCHES PER HOUR. THE DESIGN FLOW IS 1.5 CFS PER ACRE OF IMPERVIOUS AREA.

3. THE PROPOSED SYSTEM IS BASED ON A DESIGN FLOW OF 1.5 CFS PER ACRE OF IMPERVIOUS AREA. THE DESIGN FLOW IS 1.5 CFS PER ACRE OF IMPERVIOUS AREA.

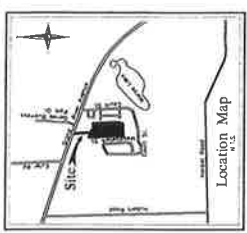
4. THE PROPOSED SYSTEM IS BASED ON A DESIGN FLOW OF 1.5 CFS PER ACRE OF IMPERVIOUS AREA. THE DESIGN FLOW IS 1.5 CFS PER ACRE OF IMPERVIOUS AREA.

ESTIMATED QUANTITIES

ITEM	QUANTITY	UNIT
1. 18" DIA. CONCRETE PIPE	1.0	LINEAL FEET
2. 12" DIA. CONCRETE PIPE	1.0	LINEAL FEET
3. 6" DIA. CONCRETE PIPE	1.0	LINEAL FEET
4. 4" DIA. CONCRETE PIPE	1.0	LINEAL FEET
5. 3" DIA. CONCRETE PIPE	1.0	LINEAL FEET
6. 2" DIA. CONCRETE PIPE	1.0	LINEAL FEET
7. 1.5" DIA. CONCRETE PIPE	1.0	LINEAL FEET
8. 1.0" DIA. CONCRETE PIPE	1.0	LINEAL FEET
9. 0.75" DIA. CONCRETE PIPE	1.0	LINEAL FEET
10. 0.5" DIA. CONCRETE PIPE	1.0	LINEAL FEET
11. 0.375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
12. 0.25" DIA. CONCRETE PIPE	1.0	LINEAL FEET
13. 0.1875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
14. 0.125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
15. 0.09375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
16. 0.0625" DIA. CONCRETE PIPE	1.0	LINEAL FEET
17. 0.046875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
18. 0.03125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
19. 0.0234375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
20. 0.015625" DIA. CONCRETE PIPE	1.0	LINEAL FEET
21. 0.01171875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
22. 0.0078125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
23. 0.005859375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
24. 0.004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
25. 0.00328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
26. 0.0024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
27. 0.00184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
28. 0.0013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
29. 0.0010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
30. 0.000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
31. 0.00058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
32. 0.0004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
33. 0.000328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
34. 0.00024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
35. 0.000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
36. 0.00013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
37. 0.00010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
38. 0.0000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
39. 0.000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
40. 0.00004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
41. 0.0000328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
42. 0.000024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
43. 0.0000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
44. 0.000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
45. 0.000010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
46. 0.00000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
47. 0.0000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
48. 0.000004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
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51. 0.00000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
52. 0.0000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
53. 0.0000010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
54. 0.000000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
55. 0.00000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
56. 0.0000004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
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59. 0.000000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
60. 0.00000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
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62. 0.0000000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
63. 0.000000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
64. 0.00000004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
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66. 0.000000024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
67. 0.0000000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
68. 0.000000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
69. 0.000000010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
70. 0.00000000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
71. 0.0000000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
72. 0.000000004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
73. 0.00000000328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
74. 0.0000000024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
75. 0.00000000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
76. 0.0000000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
77. 0.0000000010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
78. 0.000000000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
79. 0.00000000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
80. 0.0000000004375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
81. 0.000000000328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
82. 0.00000000024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
83. 0.000000000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
84. 0.00000000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
85. 0.00000000010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
86. 0.0000000000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
87. 0.000000000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
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89. 0.0000000000328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
90. 0.000000000024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
91. 0.0000000000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
92. 0.000000000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
93. 0.000000000010371875" DIA. CONCRETE PIPE	1.0	LINEAL FEET
94. 0.00000000000778125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
95. 0.0000000000058359375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
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97. 0.00000000000328125" DIA. CONCRETE PIPE	1.0	LINEAL FEET
98. 0.0000000000024609375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
99. 0.00000000000184375" DIA. CONCRETE PIPE	1.0	LINEAL FEET
100. 0.0000000000013828125" DIA. CONCRETE PIPE	1.0	LINEAL FEET

CONSTRUCTION SEQUENCE / TIMING SCHEDULE

NO.	DESCRIPTION	START DATE	END DATE
1.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
2.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
3.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
4.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
5.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
6.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
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11.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
12.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
13.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
14.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
15.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
16.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
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81.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
82.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
83.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
84.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016
85.	INSTALL CONCRETE PIPES AND TRENCHES	APRIL 2016	APRIL 2016



SOIL EROSION CONTROL - EROSION OF SOILS AND DISTURBED AREAS SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY DISTURBANCE OF SOILS OR BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN.

2. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REPAIRED OR REPLACED AS NECESSARY.

3. EROSION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ALLOW FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE FINAL EROSION CONTROL MEASURES.

4. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS AND TO STABILIZE DISTURBED AREAS.

5. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

5.1. EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY DISTURBANCE OF SOILS OR BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN.

5.2. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REPAIRED OR REPLACED AS NECESSARY.

5.3. EROSION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ALLOW FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE FINAL EROSION CONTROL MEASURES.

5.4. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS AND TO STABILIZE DISTURBED AREAS.

GENERAL CONSTRUCTION NOTES

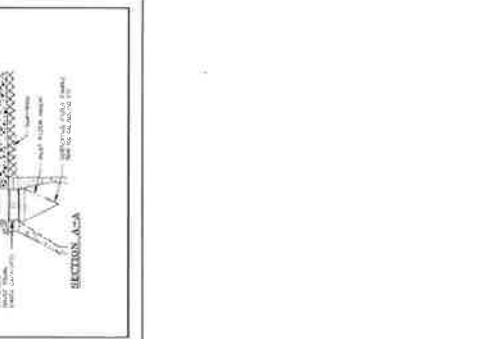
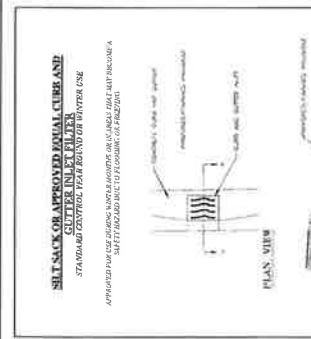
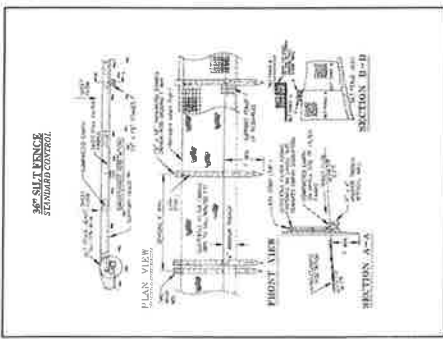
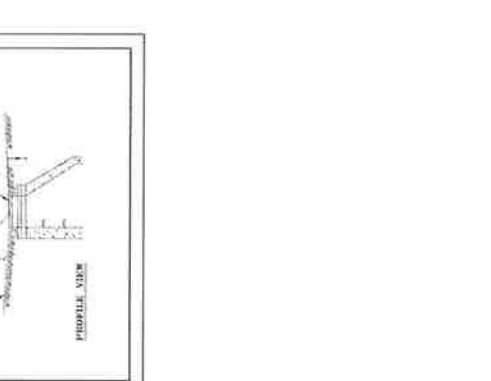
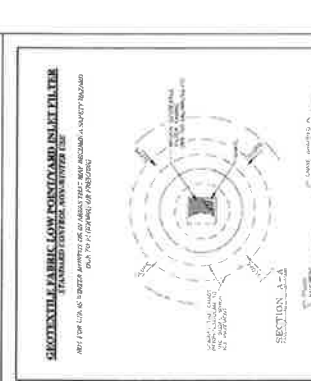
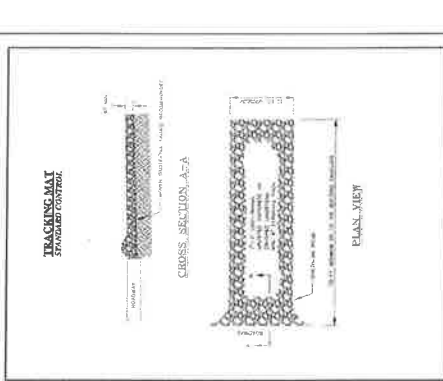
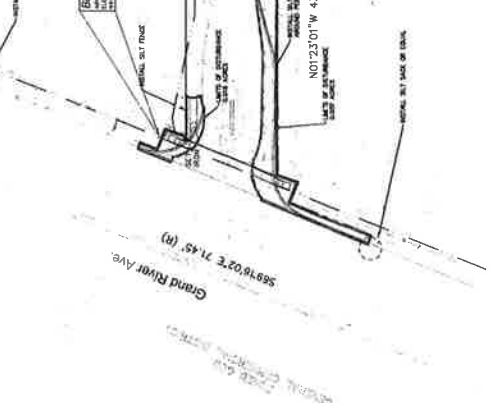
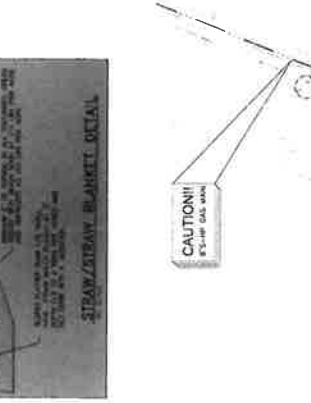
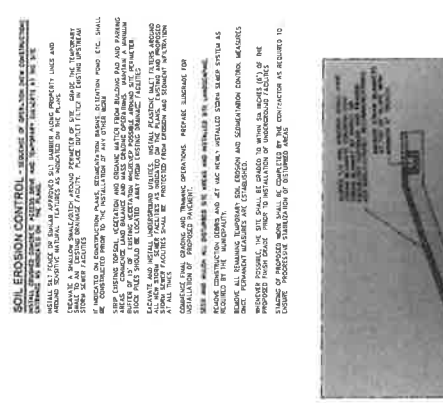
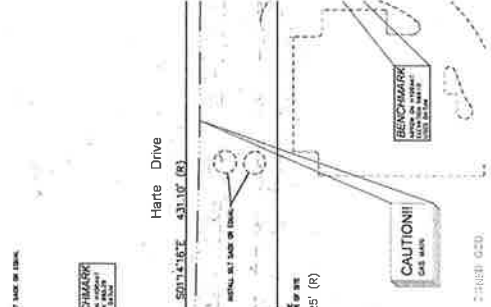
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES AND REGULATIONS.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES AND REGULATIONS.

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5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN CONSTRUCTION CODES AND REGULATIONS.





CNF
ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

4077 WOODWARD AVE
 PONTIAC, MI 48342-5632
 TEL: (313) 487-1000
 FAX: (313) 487-0207



PROJECT
 Birkenshok Office Center
 2524 Harte Drive
 Brighton, Michigan

CLIENT
 Birkenshok Enterprises, LLC
 2524 Harte Drive
 Brighton, MI 48114
 Contact: James Harte
 Phone: (313) 499-7144
 Fax: (313) 498-5607

SUBJECT LOCATION
 Part of the W. 1/2
 of Section 13
 T. 2N., R. 5E.
 Genoa Township,
 Livingston County, Michigan

SHEET
 Soil Map



DATE DATED/REVISED:
 1/28/2018 (Soil Map)
 4/26/2018 (Soil Map)
 8/28/2018 (Final PG)
 10/22/2018 (Final PG)
 11/28/2018 (Final PG)
 12/14/2018 (Final PG)
 04/05/2019

DESIGNED BY
 M. Korman
CHECKED BY
 M. Korman
APPROVED BY
 M. Peterson
 04/05/2019

SCALE 1" = 50'
 SHEET NO. 101
 SHEET TOTAL 101

PROJECT NO. C-340





PROJECT
 Bristlecock Office Center
 2524 Hartle Drive
 Brighton, Michigan

CLIENT
 Bristlecock Enterprises, LLC
 Brighton, MI 48114

CONTACT: James Hatic
 Phone: (810) 496-7144
 Fax: (734) 978-5807

PERMIT LOCATION
 Section 13
 T. 2N, R.3E
 Genoa Township,
 Livingston County, Michigan

DATE: 05/15/2010

OWNER & ENGINEER
 Bristlecock Enterprises, LLC
 2524 Hartle Drive
 Brighton, Michigan

CONTRACTOR'S DUTIES



DATE: 05/15/2010

BY: J. Hatic

SCALE: N.T.S.

PROJECT NO.: C-900

UTILITIES

The contractor shall verify the location and depth of all existing utilities (gas, electric, water, sewer, storm, and telecommunications) prior to construction. The contractor shall be responsible for obtaining all necessary permits for excavation and for protecting all existing utilities. The contractor shall be responsible for the installation and maintenance of all new utilities. The contractor shall be responsible for the removal and disposal of all existing utilities that are to be replaced. The contractor shall be responsible for the installation and maintenance of all new utilities. The contractor shall be responsible for the removal and disposal of all existing utilities that are to be replaced.

DAMAGE TO PRIVATE PROPERTY

The contractor shall be responsible for the protection of all existing private property (including trees, lawns, and structures) that may be affected by the construction. The contractor shall be responsible for the removal and disposal of all existing private property that is damaged by the construction. The contractor shall be responsible for the installation and maintenance of all new private property that is damaged by the construction. The contractor shall be responsible for the removal and disposal of all existing private property that is damaged by the construction.

DEWATERING OF TRENCH AND EXCAVATIONS

The contractor shall be responsible for the dewatering of all trenches and excavations. The contractor shall be responsible for the installation and maintenance of all dewatering systems. The contractor shall be responsible for the removal and disposal of all dewatering water. The contractor shall be responsible for the installation and maintenance of all dewatering systems. The contractor shall be responsible for the removal and disposal of all dewatering water.

MEANS AND METHODS FOR PIPE CONSTRUCTION

The contractor shall be responsible for the installation and maintenance of all new pipes. The contractor shall be responsible for the removal and disposal of all existing pipes that are to be replaced. The contractor shall be responsible for the installation and maintenance of all new pipes. The contractor shall be responsible for the removal and disposal of all existing pipes that are to be replaced.

PAVEMENT REMOVAL

The contractor shall be responsible for the removal of all existing pavement that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new pavement. The contractor shall be responsible for the removal and disposal of all existing pavement that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new pavement.

MAINTENANCE OF TRAFFIC

The contractor shall be responsible for the maintenance of all existing traffic. The contractor shall be responsible for the installation and maintenance of all new traffic. The contractor shall be responsible for the removal and disposal of all existing traffic that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new traffic.

IRRIGATION

The contractor shall be responsible for the installation and maintenance of all new irrigation systems. The contractor shall be responsible for the removal and disposal of all existing irrigation systems that are to be replaced. The contractor shall be responsible for the installation and maintenance of all new irrigation systems. The contractor shall be responsible for the removal and disposal of all existing irrigation systems that are to be replaced.

SUB-SOIL CONDITIONS

The contractor shall be responsible for the investigation of all sub-soil conditions. The contractor shall be responsible for the installation and maintenance of all new sub-soil conditions. The contractor shall be responsible for the removal and disposal of all existing sub-soil conditions that are to be replaced. The contractor shall be responsible for the installation and maintenance of all new sub-soil conditions.

SUBGRADE UNDERCUTTING AND PREPARATION

The contractor shall be responsible for the undercutting and preparation of all subgrade. The contractor shall be responsible for the installation and maintenance of all new subgrade. The contractor shall be responsible for the removal and disposal of all existing subgrade that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new subgrade.

TRENCH BACKFILL

The contractor shall be responsible for the backfilling of all trenches. The contractor shall be responsible for the installation and maintenance of all new backfill. The contractor shall be responsible for the removal and disposal of all existing backfill that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new backfill.

EARTH BALANCE / GRADING

The contractor shall be responsible for the grading and earth balance of all construction. The contractor shall be responsible for the installation and maintenance of all new grading. The contractor shall be responsible for the removal and disposal of all existing grading that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new grading.

CONSTRUCTION SCHEDULING AND CONTROL

The contractor shall be responsible for the scheduling and control of all construction. The contractor shall be responsible for the installation and maintenance of all new scheduling. The contractor shall be responsible for the removal and disposal of all existing scheduling that is to be replaced. The contractor shall be responsible for the installation and maintenance of all new scheduling.

GENERAL PAVING NOTES

1. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR PAVEMENT CONSTRUCTION, LATEST EDITION.

PARKING CALCULATION

1. PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 100 SQ FT OF GROSS FLOOR AREA.

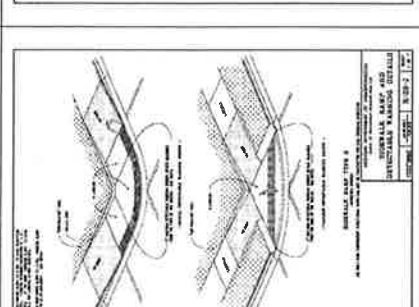
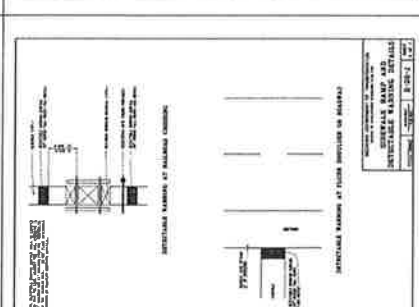
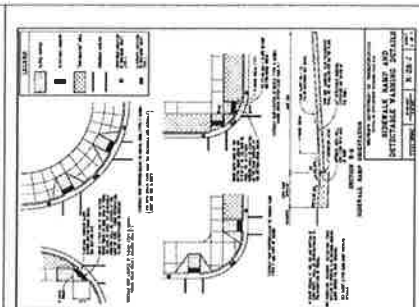
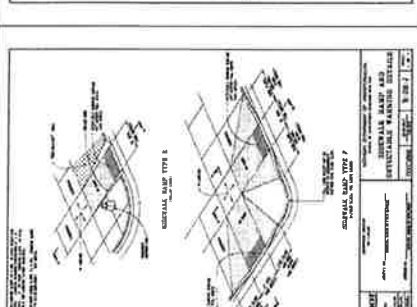
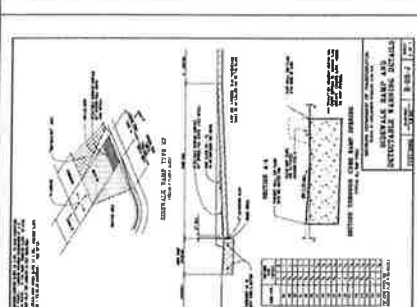
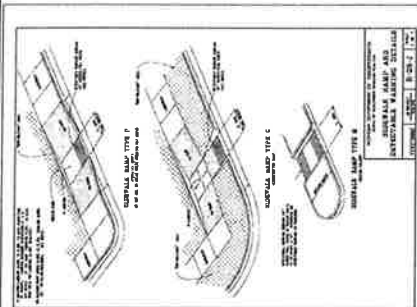
2. PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 100 SQ FT OF GROSS FLOOR AREA.

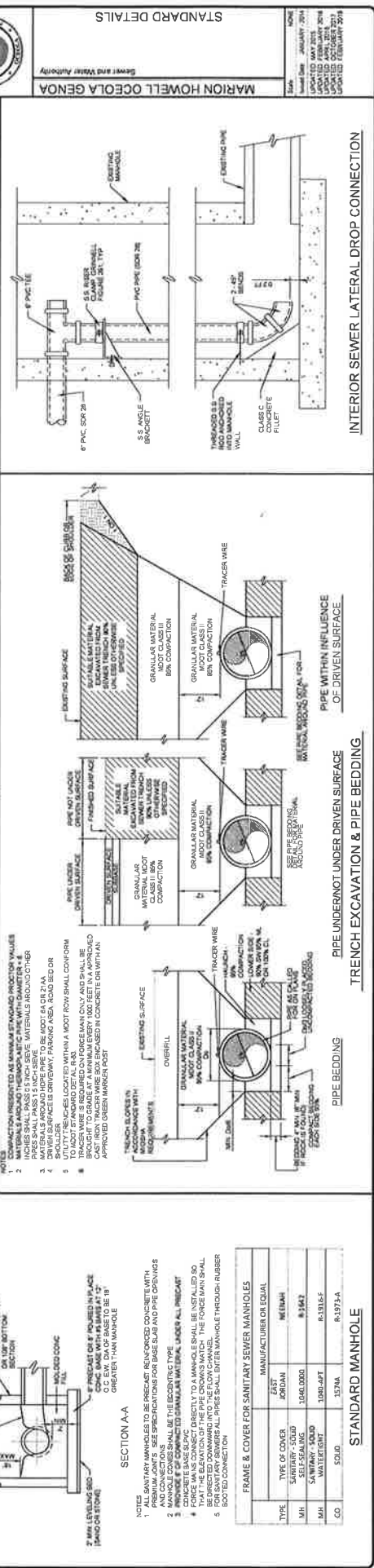
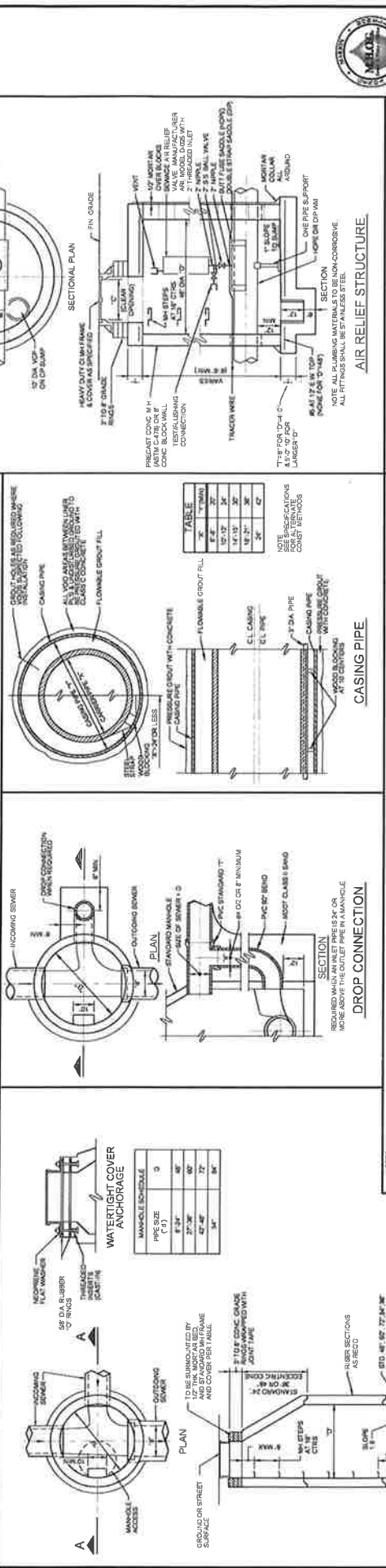
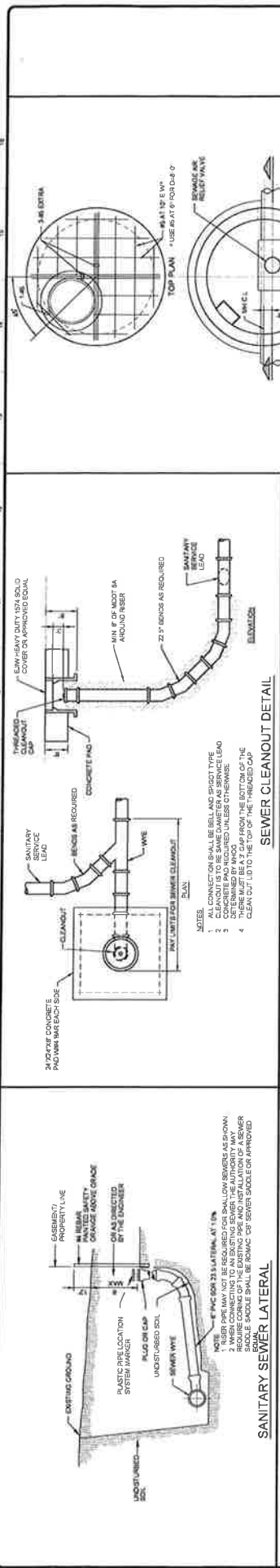
3. PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 100 SQ FT OF GROSS FLOOR AREA.

4. PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 100 SQ FT OF GROSS FLOOR AREA.

5. PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 100 SQ FT OF GROSS FLOOR AREA.

6. PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 100 SQ FT OF GROSS FLOOR AREA.





FRAME & COVER FOR SANITARY SEWER MANHOLES

TYPE	TYPE OF COVER	MANUFACTURER OR EQUAL
MH	MANHOLE - SOLID SELF-SEALING	ITEMAH
MH	SANITARY - LIQUID WATER TIGHT	R-1316-F
CO	SOLID	R-1373-A

STANDARD MANHOLE

EXHIBIT C

EXHIBIT C

TABLE OF ALTERNATIVE USES

Permissible Uses	Special Land Uses
<p>Business services such as mailing, copying, data processing and retail office supplies; Personal and business service establishments, performing services on the premises, including: dry-cleaning drop-off stations (without on-site processing), photographic studios, copy centers, mailing centers, data processing centers, dressmakers and tailors, shoe repair shops, tanning salons, beauty parlors, barber shops, and similar establishments; Studios of photographers and artists; Offices of non-profit professional, civic, social, political and religious organizations; Medical offices of doctors, dentists, optometrists, chiropractors, psychiatrists, psychologists and similar or allied professions, excluding clinics, and urgent care centers; Offices of lawyers, engineers, architects, insurance, and real estate agents, financial consultants, and brokers, advertising offices, accounting, and bookkeeping services, clerical, and stenographic services, sales offices, other types of executive, or administrative offices and similar or allied professions; Contractors offices and buildings with only indoor storage of equipment and machinery; Research and development facilities, testing laboratories; Warehousing establishments; Professional or corporate offices; Radio and television studios; and Accessory uses, buildings and structures customarily incidental to any of the above.</p>	<p>Child care centers, preschool and commercial daycare; Retail sales of goods assembled, manufactured, compounded, processed, packaged or treated from previously prepared materials, or repaired or stored, on the premises; and Accessory uses, buildings and structures customarily incidental to any of the above.</p>