

GENOA TOWNSHIP

RESIDENTIAL LAND USE PERMIT REQUIREMENTS



Three copies of the construction plans (folded, if large)

- *Plans must be to scale for new construction homes*



*Three copies of the site or plot plan showing the **ALL** of the following: **dimensions of property; all roads adjacent to property, easements, wetlands, lakes and streams, all structures, existing or proposed wells, septic tanks and fields, location of grinder pumps or sewer lines dimensions from buildings to property line, dimensions of proposed building including building elevations (folded, if large) PLANS MUST BE PRINTED ON ONE SIDE ONLY.***



Completed Land Use Permit Application form



Completed Meter Form (New construction only requiring connection fees and meter fees)



A reduced size .pdf file of all large/architectural plans, sent to Permits@Genoa.org

LAND-USE PERMIT FEES

(Payments accepted in check or cash only)

Mass Grading	\$150.00
Commercial / Industrial.....	\$150.00*
Sign.....	\$75.00
Residential New Construction/Addition	\$75.00*
Accessory Building	\$50.00
Deck/Fence/Pool/Generator	\$50.00

**Where applicable, connection and meter fees will also be required at the time of land use permit issuance.*

**AFTER OBTAINING A LAND USE PERMIT,
YOU MUST CONTACT THE **LIVINGSTON COUNTY BUILDING
DEPARTMENT AT (517) 546-3240
TO PULL A BUILDING PERMIT.****

Genoa Charter Township • 2911 Dorr Rd • Brighton, Michigan 48116
(810) 227-5225 • www.Genoa.org

Revised 5-7-24



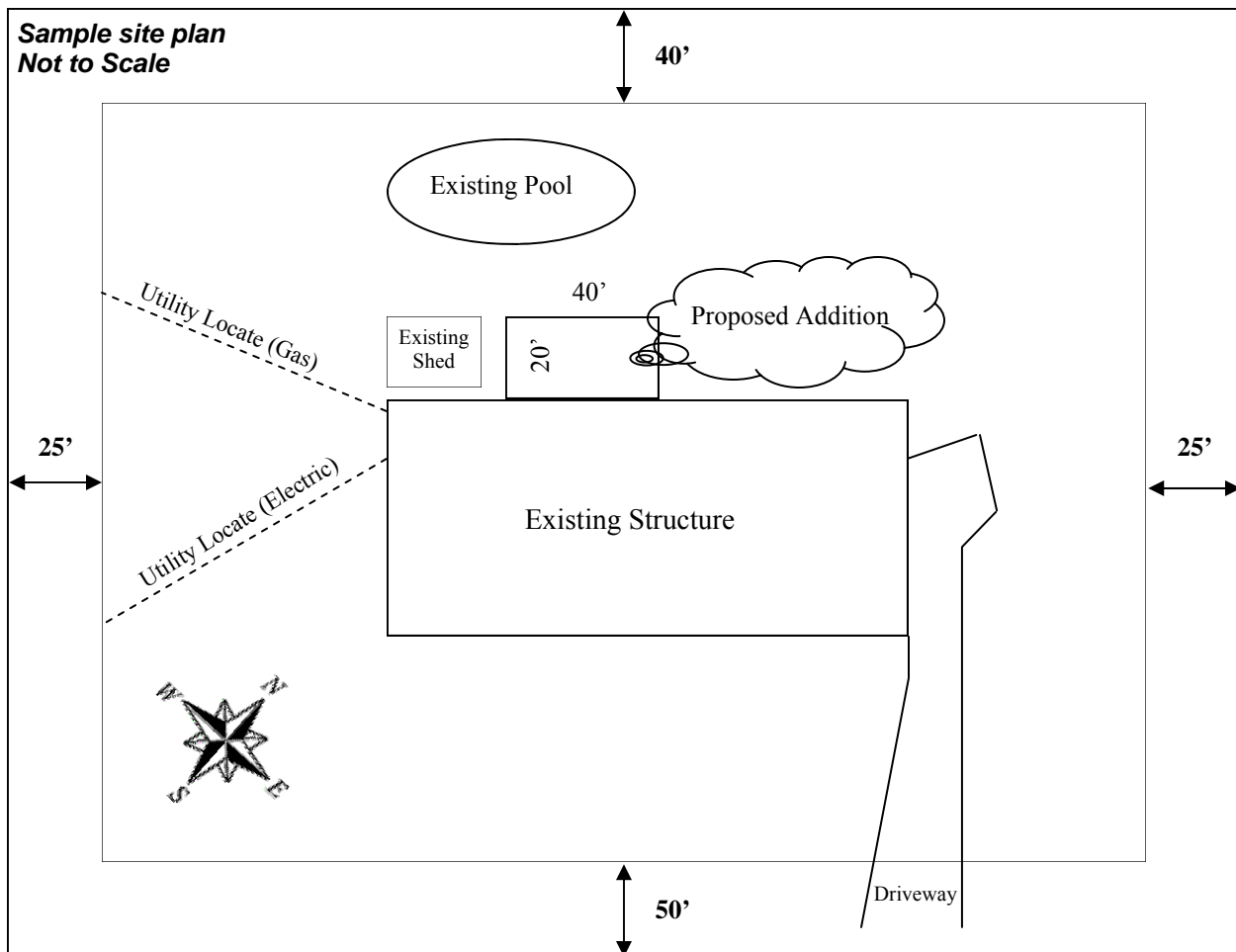
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Site Plans Building Guides for Homeowners

What is a Site Plan?

A site plan is a detailed drawing of your property, also known as a survey of your land. These are usually drawn by a land surveyor. The site plan will show the dimensions of your project and its relationship to existing setbacks, easements, utilities, wetlands, lakes, streams, other structures on the property, and distance to your property lines. If your project will require moving any utilities (gas, water, sewer/septic, electric, etc.), show where those meters will be relocated.



Notes:

1. Structures shall not be permitted to be built over setback lines, easements, or property lines.
2. If your property is on a slope, you may be required to install silt fence to keep the dirt on your property.
3. If you do not know the location of your utilities, contact Miss Dig 1-800-482-7171. Remember to call 3 days in advance of digging. This is a free service.



Residential Land Use Permit Application

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APPLICATION NO. _____

1. PROJECT INFORMATION										
Site Address:			Parcel No. 4711 - ____ - ____ - ____			Acreage:		Zoning:		
2. OWNER/CONTRACTOR INFORMATION										
Owner Name:				Phone No.:			E-mail:			
Owner Address:				City:		State:		Zip:		
Contractor Name:				Phone No.:			Email:			
Contractor Address:				City:		State:		Zip:		
3. TYPE OF IMPROVEMENT										
A. Principal Building: <input type="checkbox"/> New Single Family <input type="checkbox"/> New Multiple Family <input type="checkbox"/> Addition to Existing Building B. Accessory Building or Structure: <input type="checkbox"/> Fence <input type="checkbox"/> Deck <input type="checkbox"/> Detached Building/Structure <input type="checkbox"/> Pool/Hot Tub C. Other: <input type="checkbox"/> Grading/Site Work <input type="checkbox"/> Generator <input type="checkbox"/> Other, explain: _____										
4. PROPOSED SETBACK AND DIMENSIONAL INFORMATION										
A. Proposed Principal Structure Setbacks (in feet)										
Front: _____ (measured from front property line, right-of-way line or private road easement, whichever is less)										
Rear:		Least Side:		Side:		Water/Wetland:				
B. Proposed Detached Accessory Structure Setbacks (in feet)										
Front:	Least Side:		Side:	Rear:	Water/Wetland:		Distance from Principle Structure:			
C. Proposed Building/Improvement Dimensions										
Size of Building/Improvement: _____ square feet					Height: _____ feet					
5. CHARACTERISTICS OF IMPROVEMENT										
Total Project Cost		\$ _____								
Building Style		<input type="checkbox"/> Ranch			<input type="checkbox"/> 1.5 Story			<input type="checkbox"/> 2 Story		
Frame		<input type="checkbox"/> Masonry, Wall Bearing		<input type="checkbox"/> Wood Frame		<input type="checkbox"/> Structural Steel		<input type="checkbox"/> Reinforced Concrete		
Exterior		<input type="checkbox"/> Brick			<input type="checkbox"/> Stone		<input type="checkbox"/> Siding		<input type="checkbox"/> Wood	
Foundation		<input type="checkbox"/> Basement			<input type="checkbox"/> Crawl			<input type="checkbox"/> Slab		
Area		New Building Square Footage: _____				Addition Square Footage: _____				
Bedrooms		Number of bedrooms: _____								
Bathrooms		No. of Full: _____		No. of Half: _____		No. of Sinks: _____		No. of Showers: _____		
Basement		<input type="checkbox"/> Walkout	<input type="checkbox"/> Finished	Finished Sq. Ft.: _____		Bsmt. Baths:	# Full: _____		# Half: _____	
Attached Garage		Type of Foundation: _____				Depth: _____ feet		Width: _____ feet		
Central Air/Generator		<input type="checkbox"/> Yes <input type="checkbox"/> No		Generator kw: _____						
Fireplace		<input type="checkbox"/> Direct Vent			<input type="checkbox"/> Pre-fab			<input type="checkbox"/> Other: _____		
Inground Pool		<input type="checkbox"/> Fiberglass		<input type="checkbox"/> Vinyl		<input type="checkbox"/> Gunite		<input type="checkbox"/> Plastic		
Driveway		<input type="checkbox"/> Gravel	<input type="checkbox"/> Asphalt		<input type="checkbox"/> Concrete		<input type="checkbox"/> Brick	<input type="checkbox"/> Other: _____		
Detached Building/Structure		Height: _____ feet	Depth: _____ feet	Width: _____ feet	Foundation: <input type="checkbox"/> Basement <input type="checkbox"/> Slab <input type="checkbox"/> Crawl		Flooring: <input type="checkbox"/> Concrete <input type="checkbox"/> Dirt <input type="checkbox"/> Wood			
Deck		<input type="checkbox"/> Treated Wood			<input type="checkbox"/> Cedar		<input type="checkbox"/> Composite		<input type="checkbox"/> Other: _____	
7. APPLICANT CERTIFICATION										
I hereby certify that all information attached to this application is true and accurate to the best of my knowledge. I certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as the authorized agent. The owner and applicant agree to conform to all applicable ordinances of Genoa Township. Any modification to location, size or dimensions must be approved by Genoa Township. A Land Use Permit is valid for a period of 12 months from the date of issue. In signing of this application, I am permitting an official representative of Genoa Charter Township to do on-site inspections. I acknowledge that private covenants and restrictions are potentially enforceable by private parties.										
Applicant is: <input type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Lessee/Renter <input type="checkbox"/> Architect/Engineer <input type="checkbox"/> Other:										
Signature of Applicant:					Printed Applicant name:					
▽ FOR OFFICE USE ONLY ▽										
FLOODPLAIN: <input type="checkbox"/> Yes <input type="checkbox"/> No			Panel No.:			Firm No.:				
ZBA	Case #/Approval date:			Conditions:						